

NORTH ELEVATION
1:100

SOUTH ELEVATION
1:100

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site



Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
Lidcombe, NSW
2141



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1	WHITE RENDER OR SIMILAR
2	BRICK PGH OLYMPUS OR SIMILAR
3	ALUCOBOND COPPER OR SIMILAR
4	DULUX SUPERSTAR OR SIMILAR
5	DULUX ONYX PEARL POWDERCOAT OR SIMILAR

Onyx Pearl
2000
POWDERCOAT

OR SIMILAR

URBAN LINK
ARCHITECTURE

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Email info@urbanlink.com.au

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DEVELOPMENT APPLICATION

project 21-23 JAMES STREET,
LIDCOMBE project no 15-046

client JAMES STREET
DEVELOPMENT UNIT TRUST scale as shown@ A1
date 04/10/16

drawing NORTH & SOUTH
ELEVATIONS drawn TV
checked ZB issue D



drawing no
DA- 201



LEGEND	
MATERIAL SCHEDULE	
1	WHITE RENDER OR SIMILAR
2	BRICK PGH OLYMPUS OR SIMILAR
3	ALUCOBOND COPPER OR SIMILAR
4	DULUX SUPERSTAR OR SIMILAR
5	DULUX ONYX PEARL POWDERCOAT OR SIMILAR

Onyx Pearl
5002
POWDERCOAT
PROCESSED PEARLS

EAST ELEVATION
1:100

6.2

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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Certificate no.: 0000860410

Assessor Name: Thomas Ruck

Accreditation no.: VIC/BDV/12/1456

Certificate date: 17 October 2016

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2141

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Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

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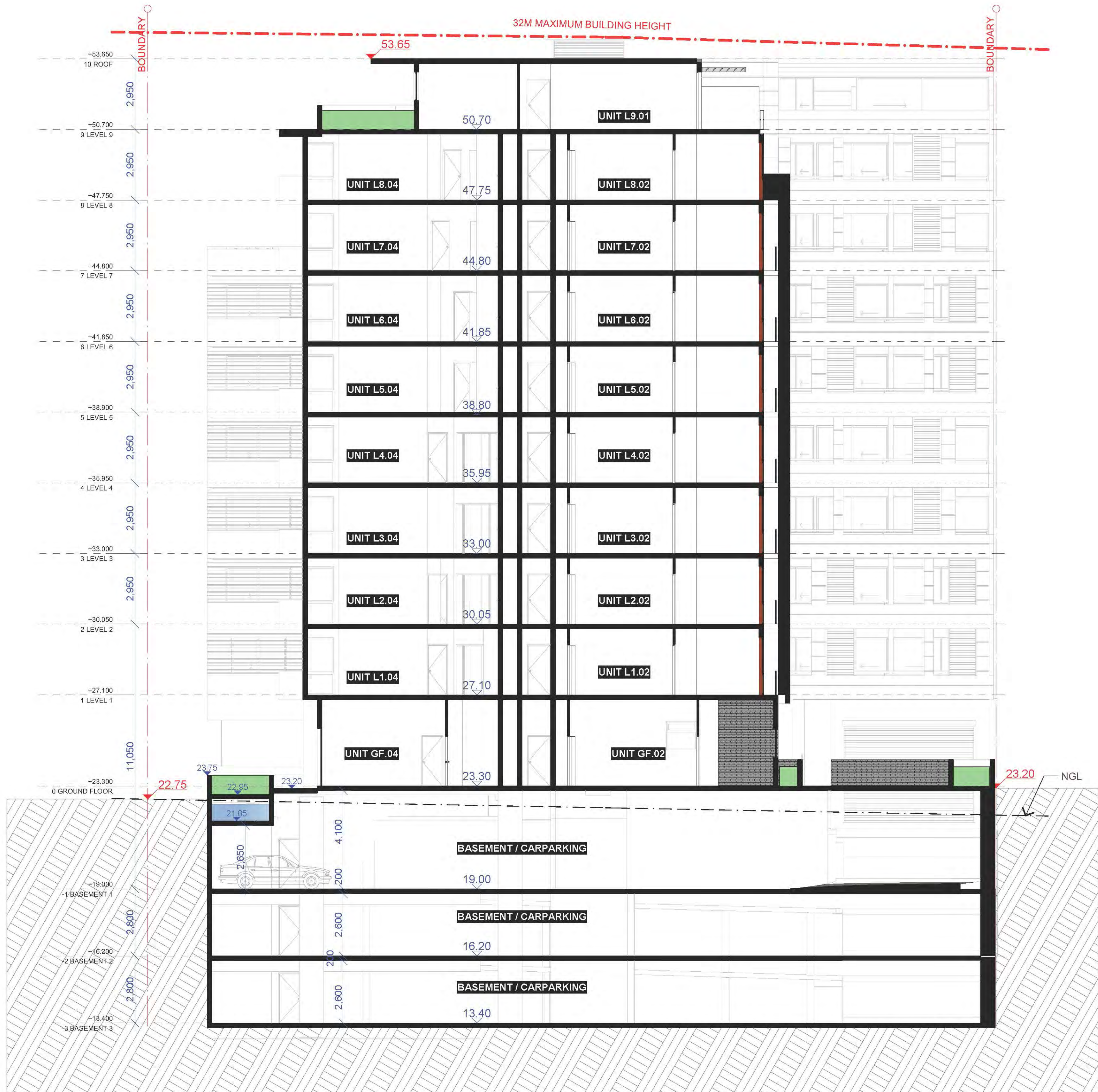
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DEVELOPMENT APPLICATION	
project	21-23 JAMES STREET, LIDCOMBE
client	JAMES STREET DEVELOPMENT UNIT TRUST
drawing	EAST ELEVATION
scale	as shown@ A1
date	04/10/16
drawn	TV
checked	ZB



drawing no
DA- 203

issue D





Average star rating
6.2
NATIONWIDE HOUSE
ENERGY RATING
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Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
Lidcombe, NSW
2141
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SECTION A

NO AMENDMENTS TO ISSUE D

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

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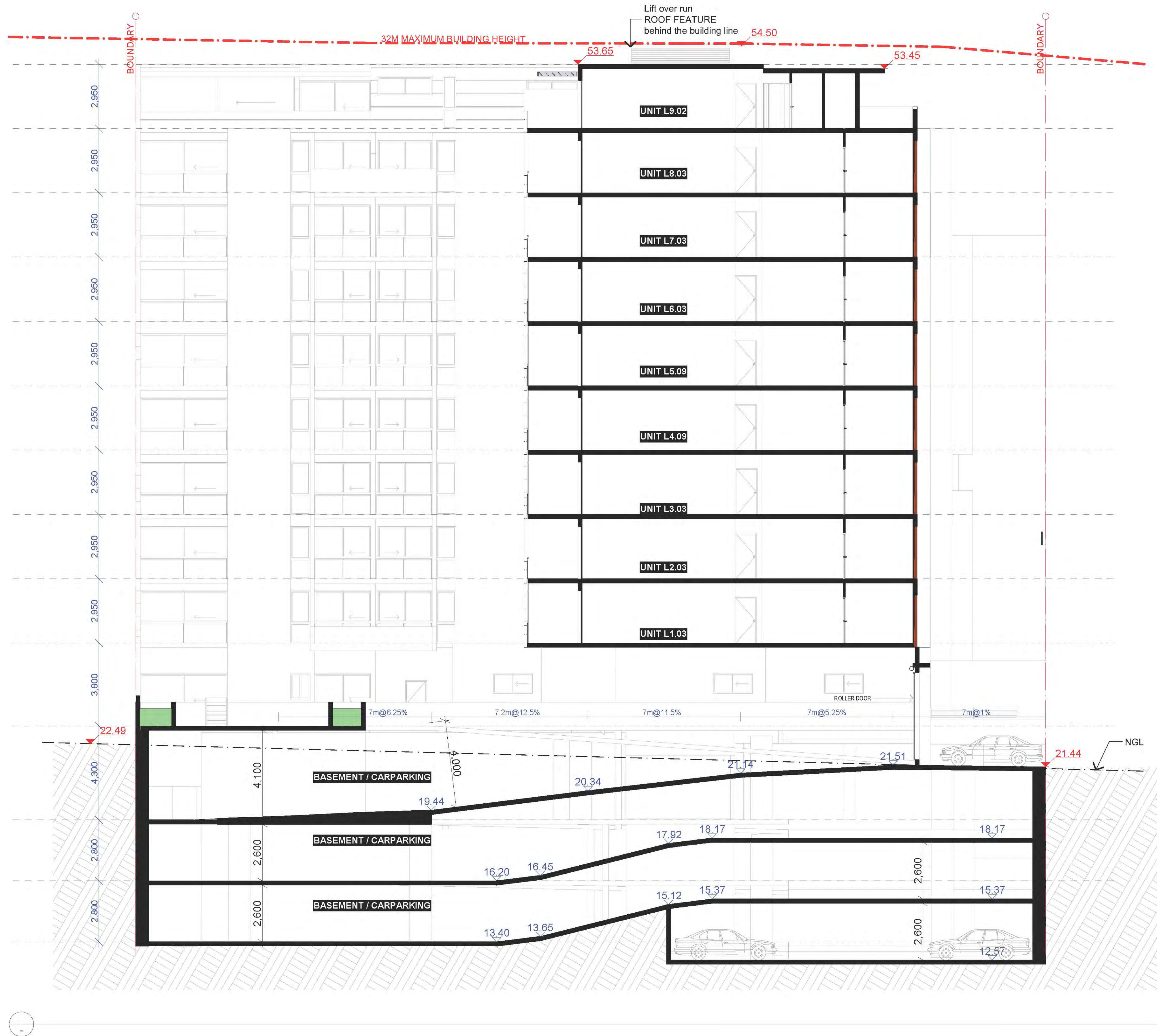
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	SECTIONS	date	04/10/16
drawn	TV	checked	ZB
issue	D		



drawing no
DA-301

Issue D



SECTION B
1:100

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

NO AMENDMENTS TO ISSUE D



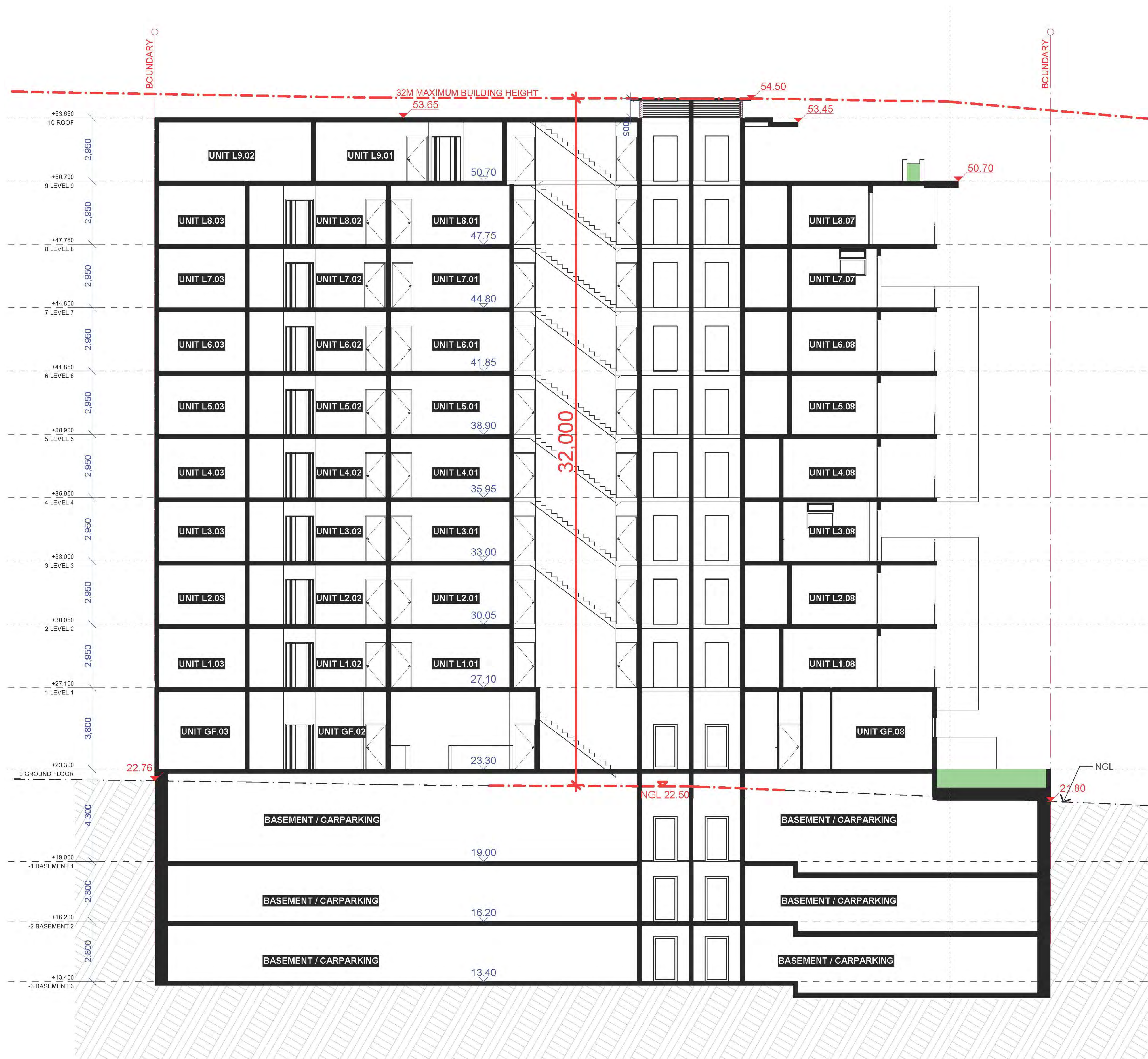
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	SECTIONS	date	04/10/16
drawn	TV	checked	ZB



drawing no
DA- 302

Issue D



SECTION C

1:100

6.2

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

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Certificate no.: 0000860410

Assessor Name: Thomas Ruck

Accreditation no.: VIC/BDV/12/1456

Certificate date: 17 October 2016

Dwelling Address: 21-23 James St
Lidcombe, NSW
2141

Issue	Amendment	Date
A	COORDINATION	19/10/15
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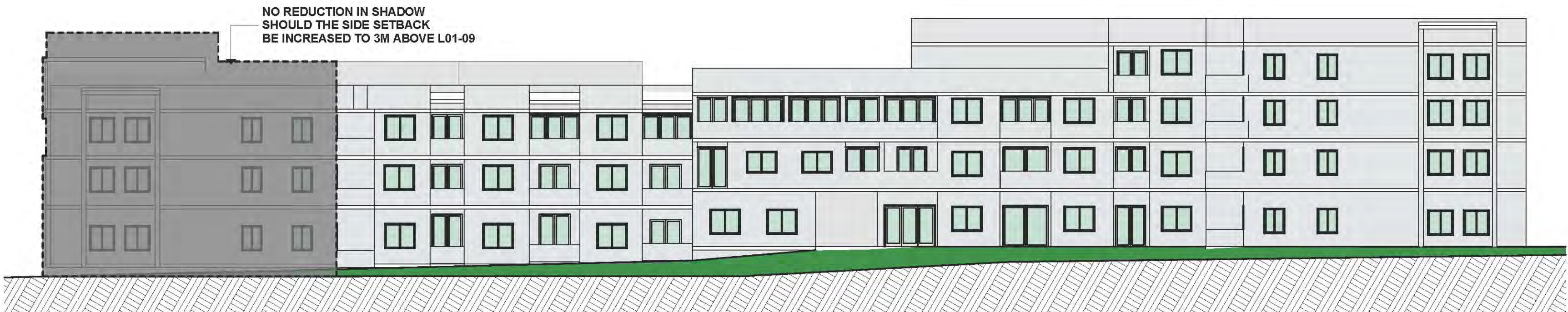
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	SECTIONS	date	04/10/16
drawn	TV	checked	ZB

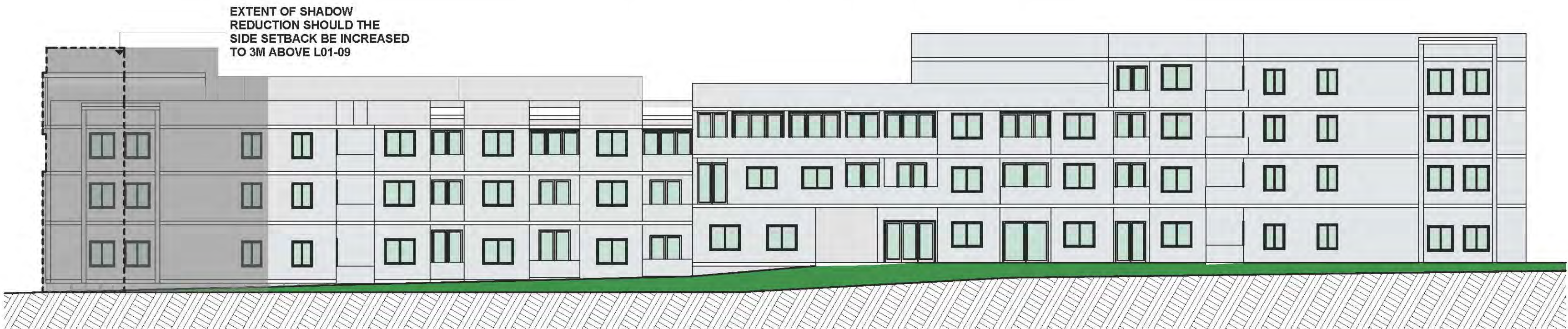
drawing no
DA-303

Issue D



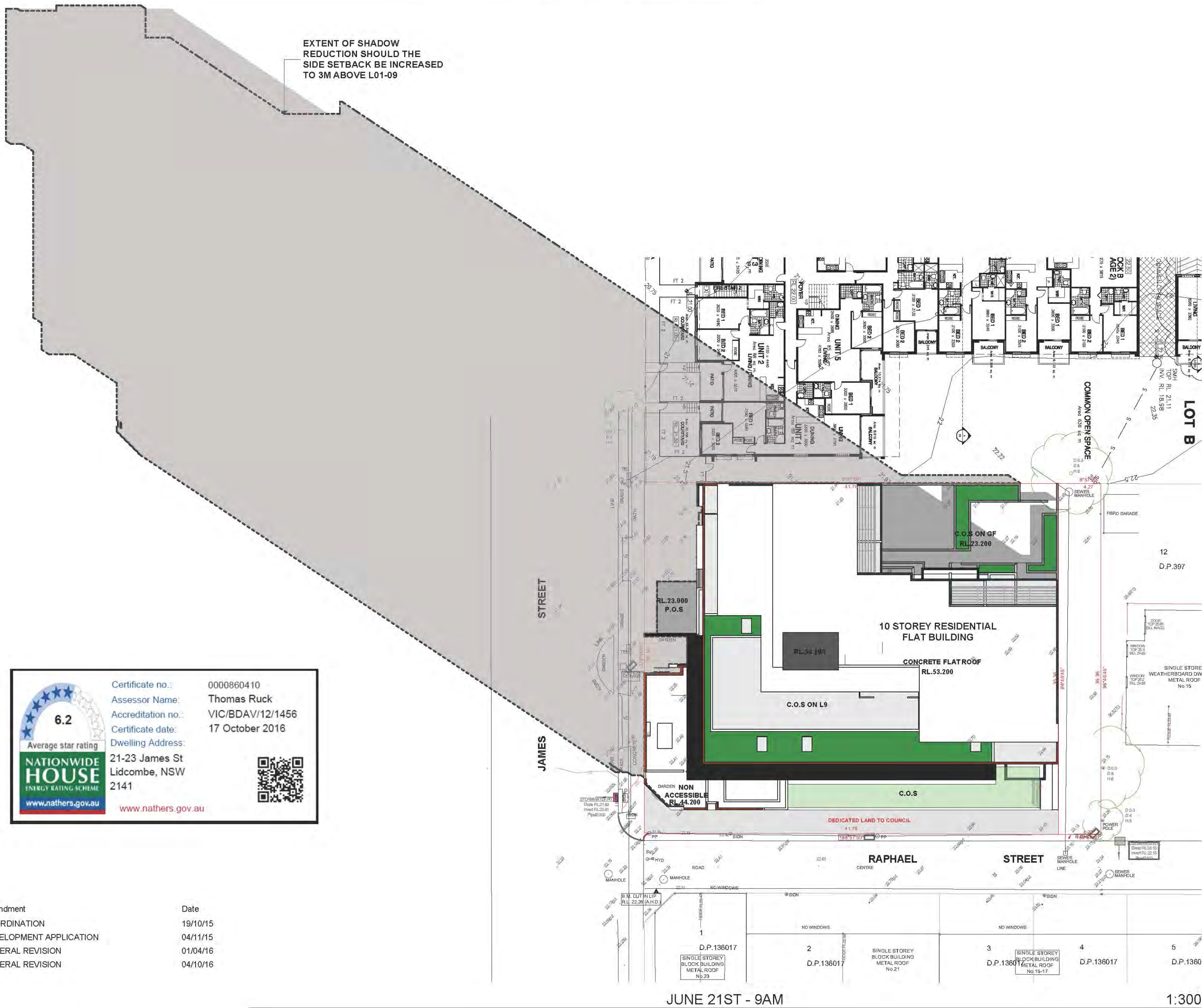
SHADOW ELEVATION JUNE 21T, 9AM - 9-15 JAMES ST

1:200



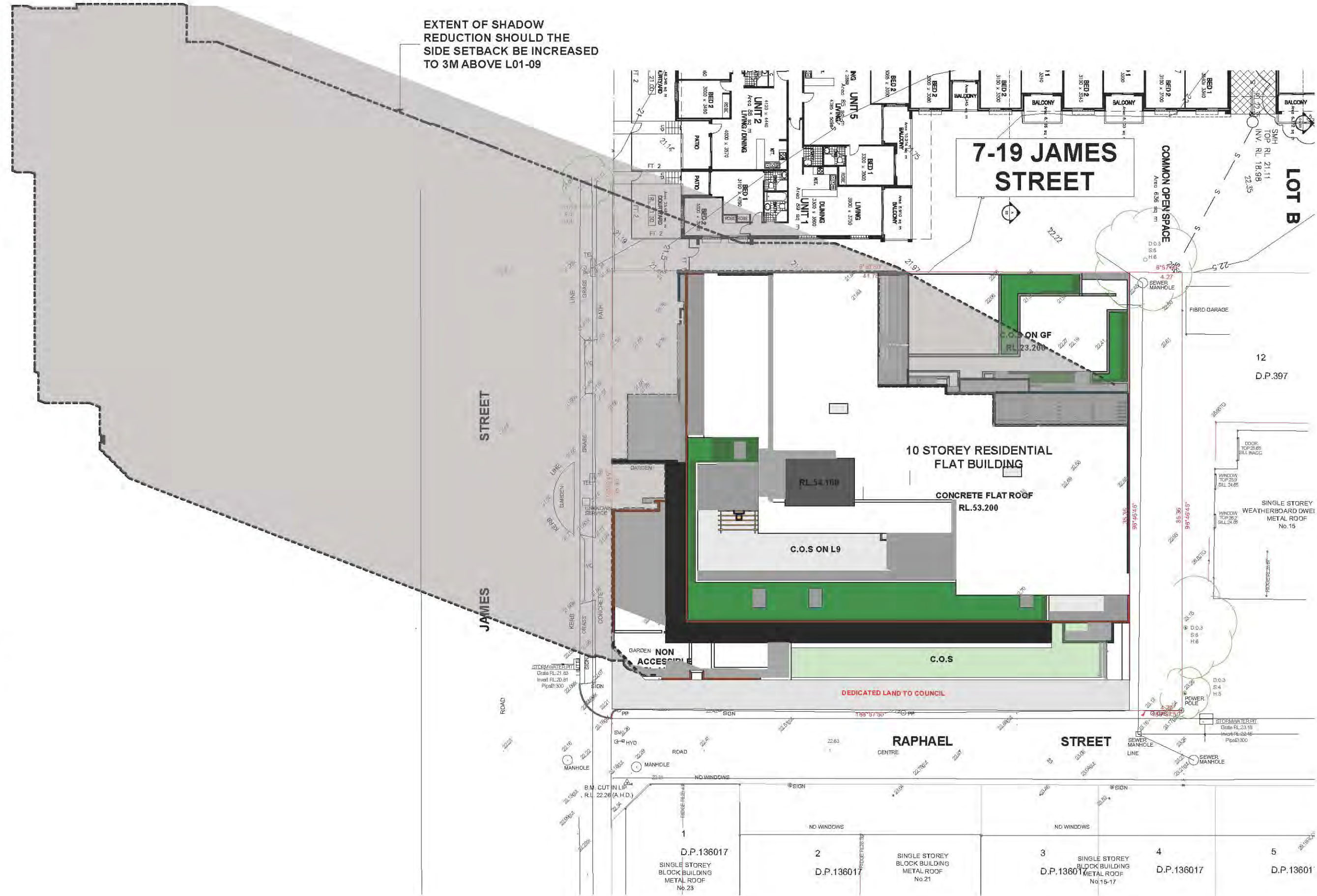
SHADOW ELEVATION JUNE 21T, 10AM - 9-15 JAMES ST

1:200



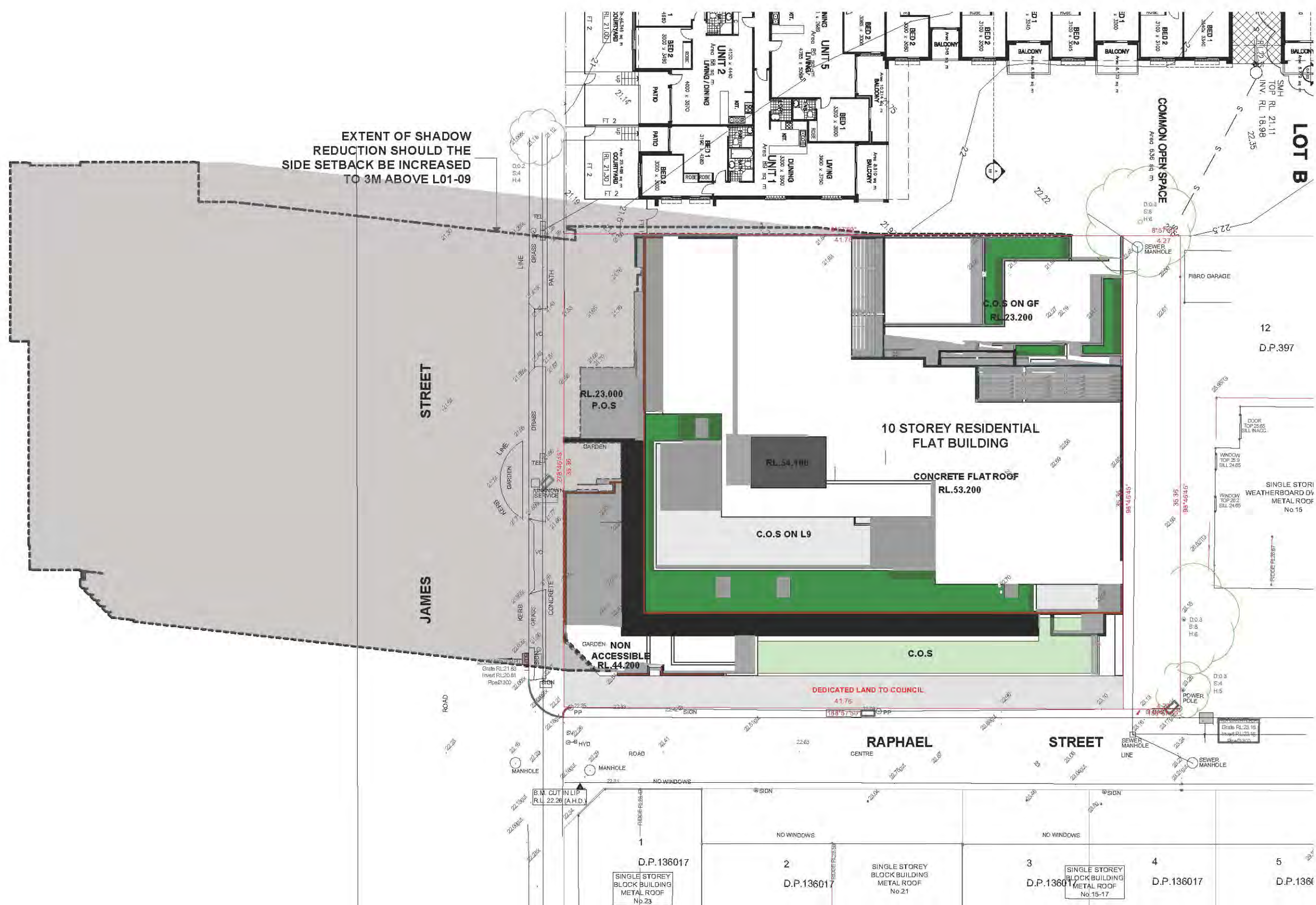
JUNE 21ST - 9AM

1:300



JUNE 21ST - 10AM

1:300



JUNE 21ST - 11AM

1:300

Issue	Amendment	Date
A	COORDINATION	19/10/15
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6.2
Average star rating
NATIONWIDE
ENERGY RATING SCHEME
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Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
Lidcombe, NSW
2141

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LEGEND	
	PROPOSED SHADOWS WITHOUT 3M SETBACK
	PROPOSED SHADOWS WITH 3M SETBACK

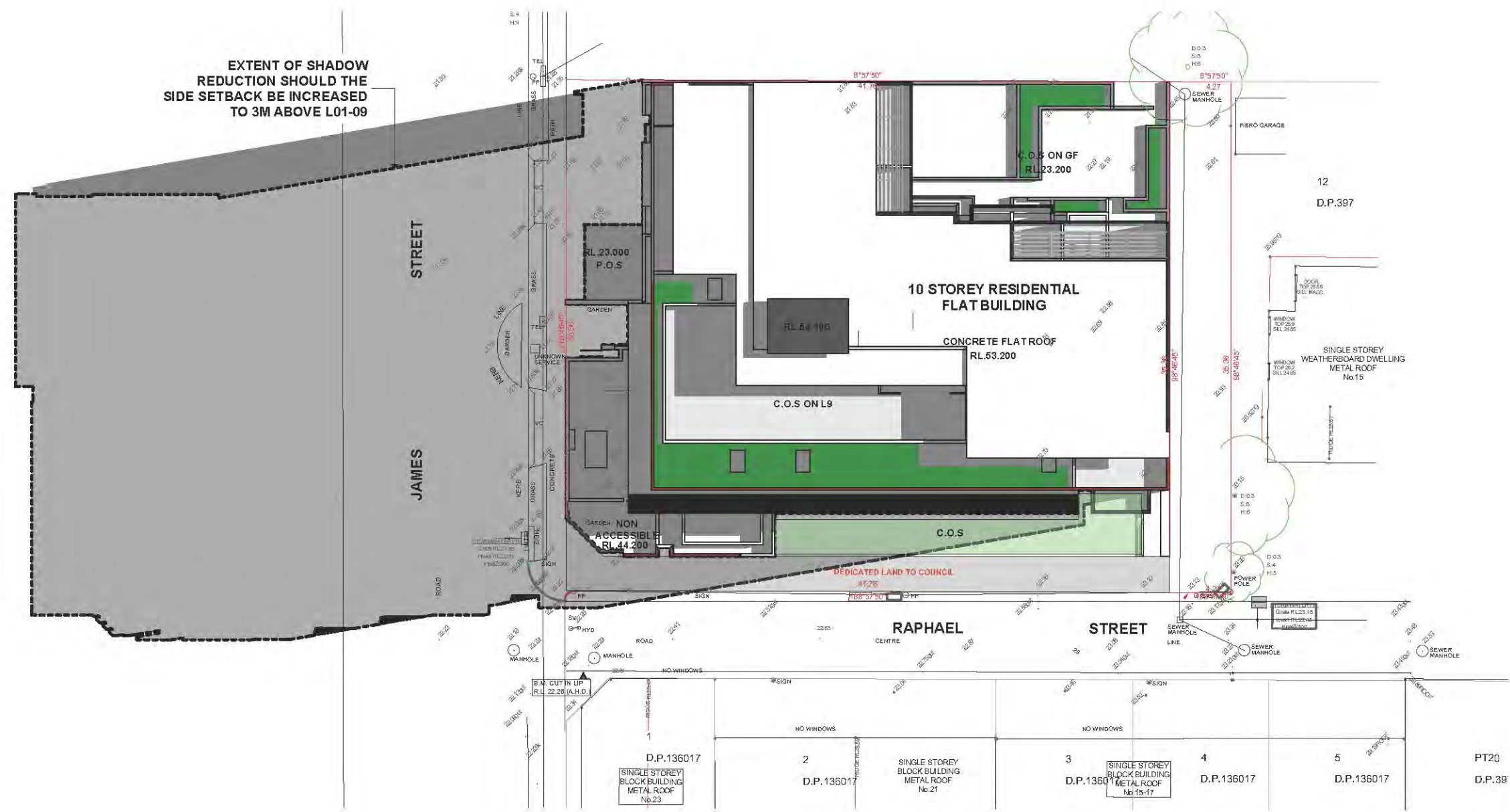
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DEVELOPMENT APPLICATION	
project	21-23 JAMES STREET, LIDCOMBE
client	JAMES STREET DEVELOPMENT UNIT TRUST
drawing	SHADOW DIAGRAMS
project no	15-046
scale	as shown @ A1
date	04/10/16
drawn	TV
checked	ZB

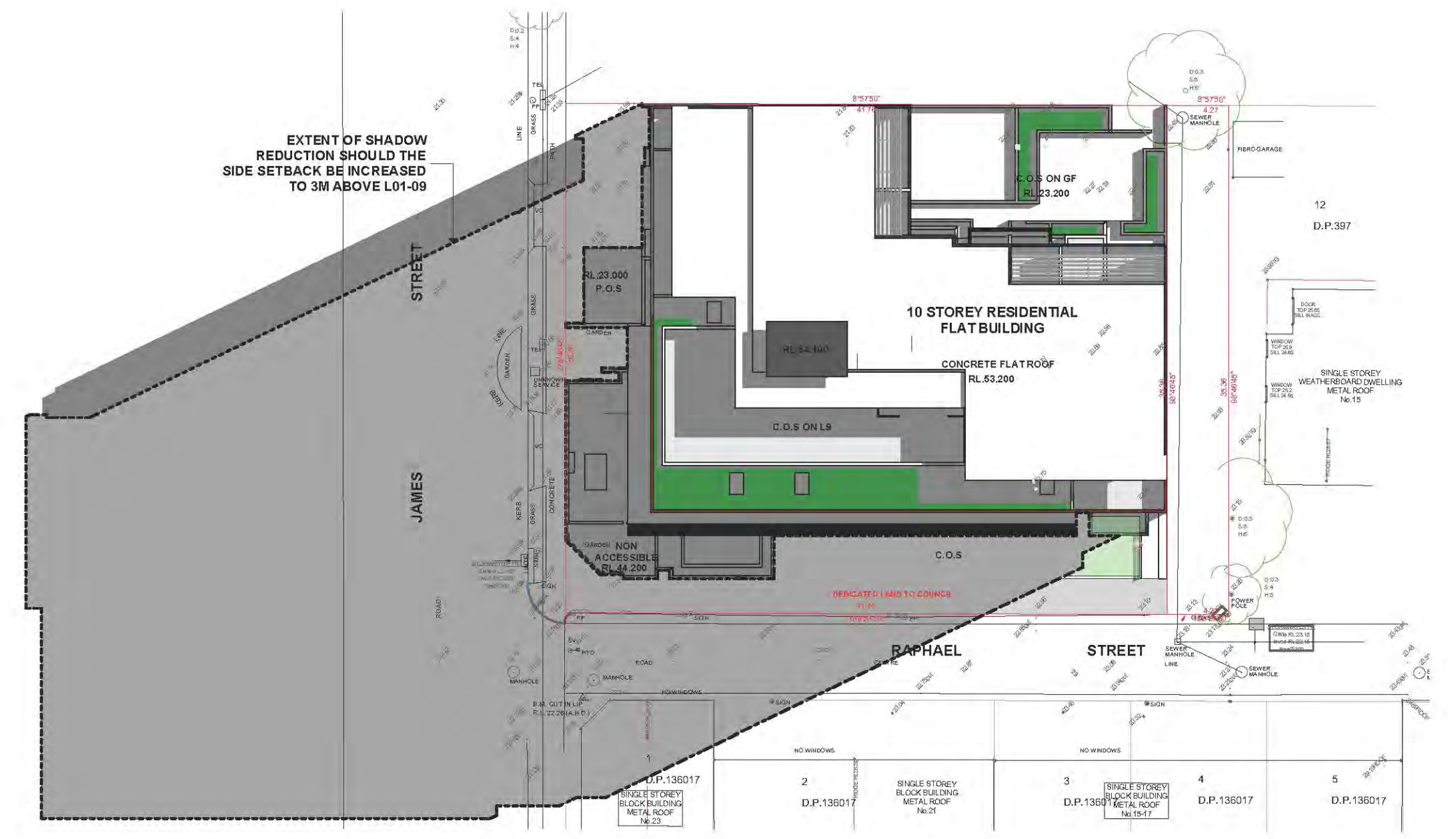
drawing no
DA-304

Issue D



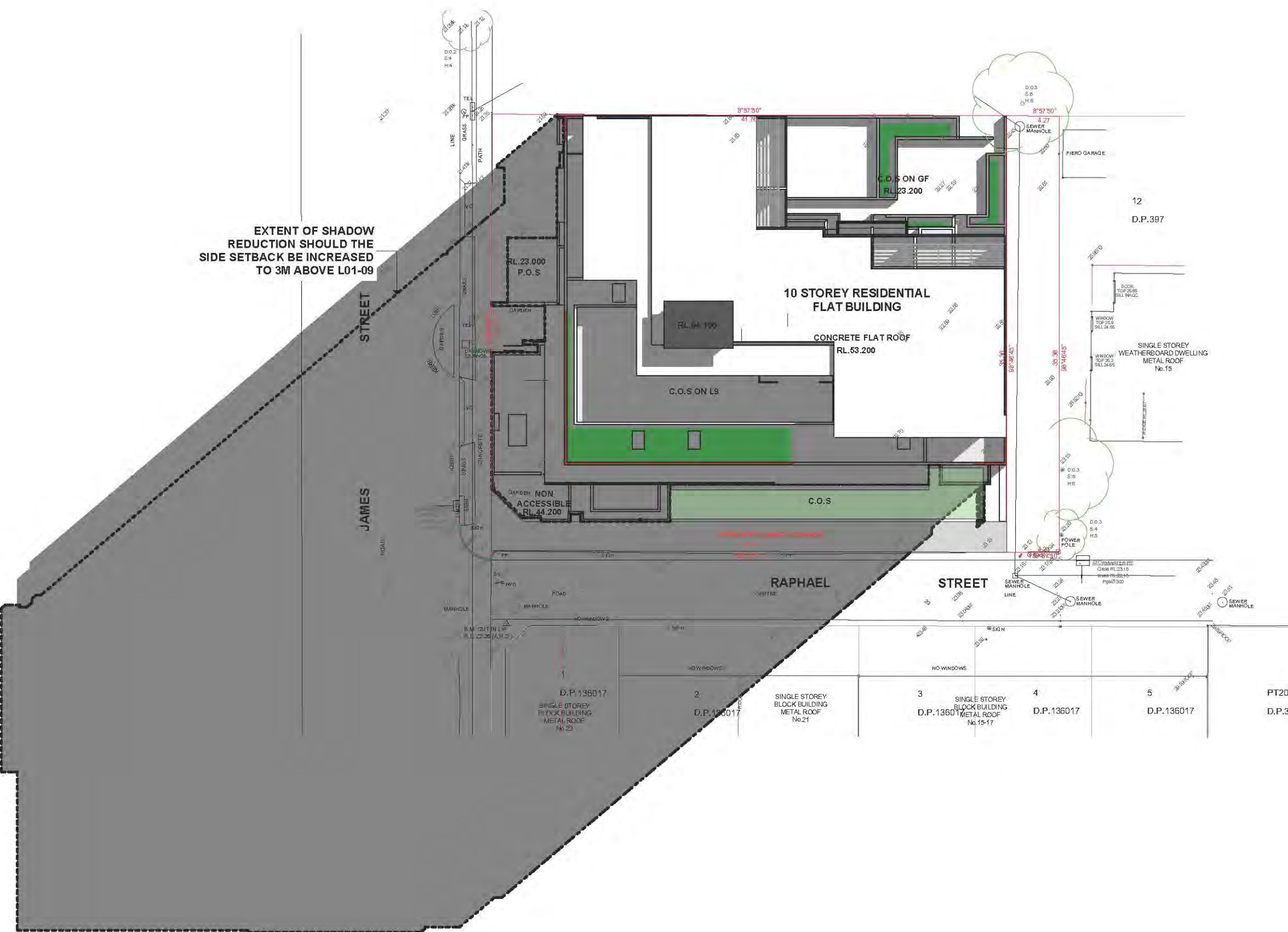
JUNE 21ST - 12PM

1:350



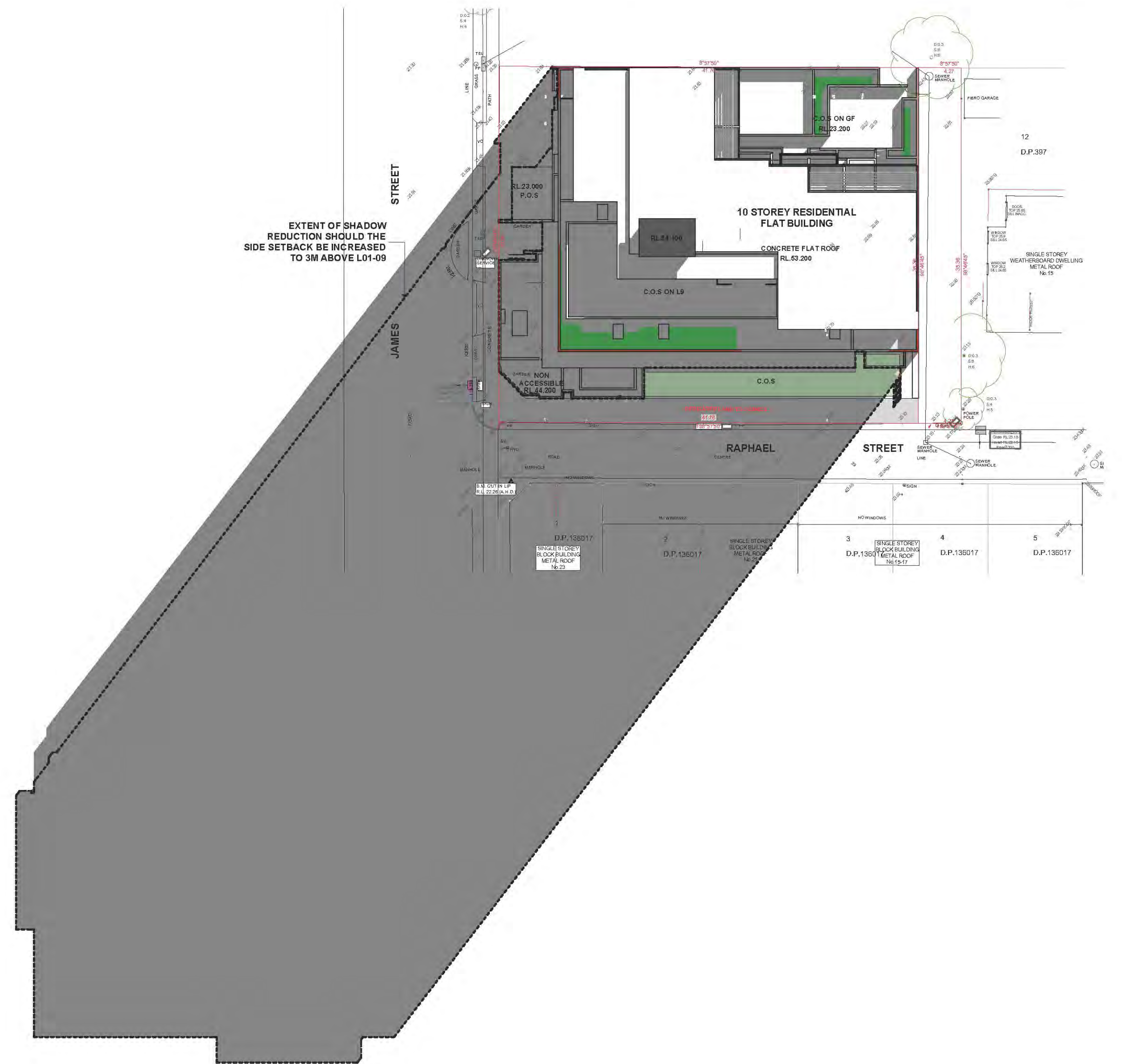
JUNE 21ST - 01PM

1:350



JUNE 21ST - 02PM

1:350



JUNE 21ST - 03PM

1:350

Issue	Amendment	Date
A	COORDINATION	19/10/15
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D	GENERAL REVISION	04/10/16

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6.2

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

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Certificate no.: 0000860410

Assessor Name: Thomas Ruck

Accreditation no.: VIC/BDV/12/1456

Certificate date: 17 October 2016

Dwelling Address: 21-23 James St

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2141

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LEGEND	
	PROPOSED SHADOWS WITHOUT 3M SETBACK
	PROPOSED SHADOWS WITH 3M SETBACK

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DEVELOPMENT APPLICATION	
project 21-23 JAMES STREET, LIDCOMBE	project no 15-046
client JAMES STREET DEVELOPMENT UNIT TRUST	scale as shown@ A1
drawing SHADOW DIAGRAMS	date 04/10/16
drawn TV	checked ZB

DA-305

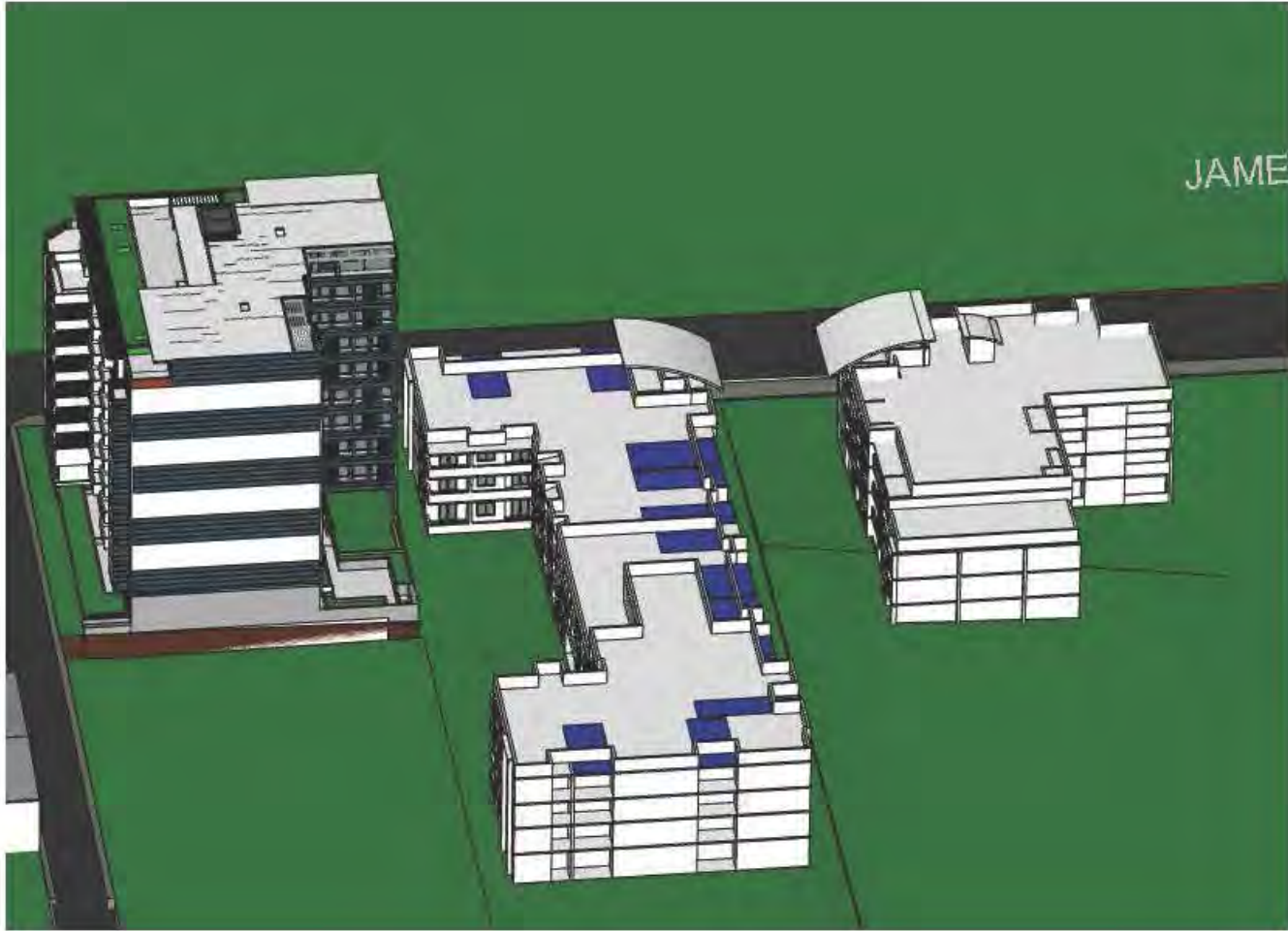
Issue D



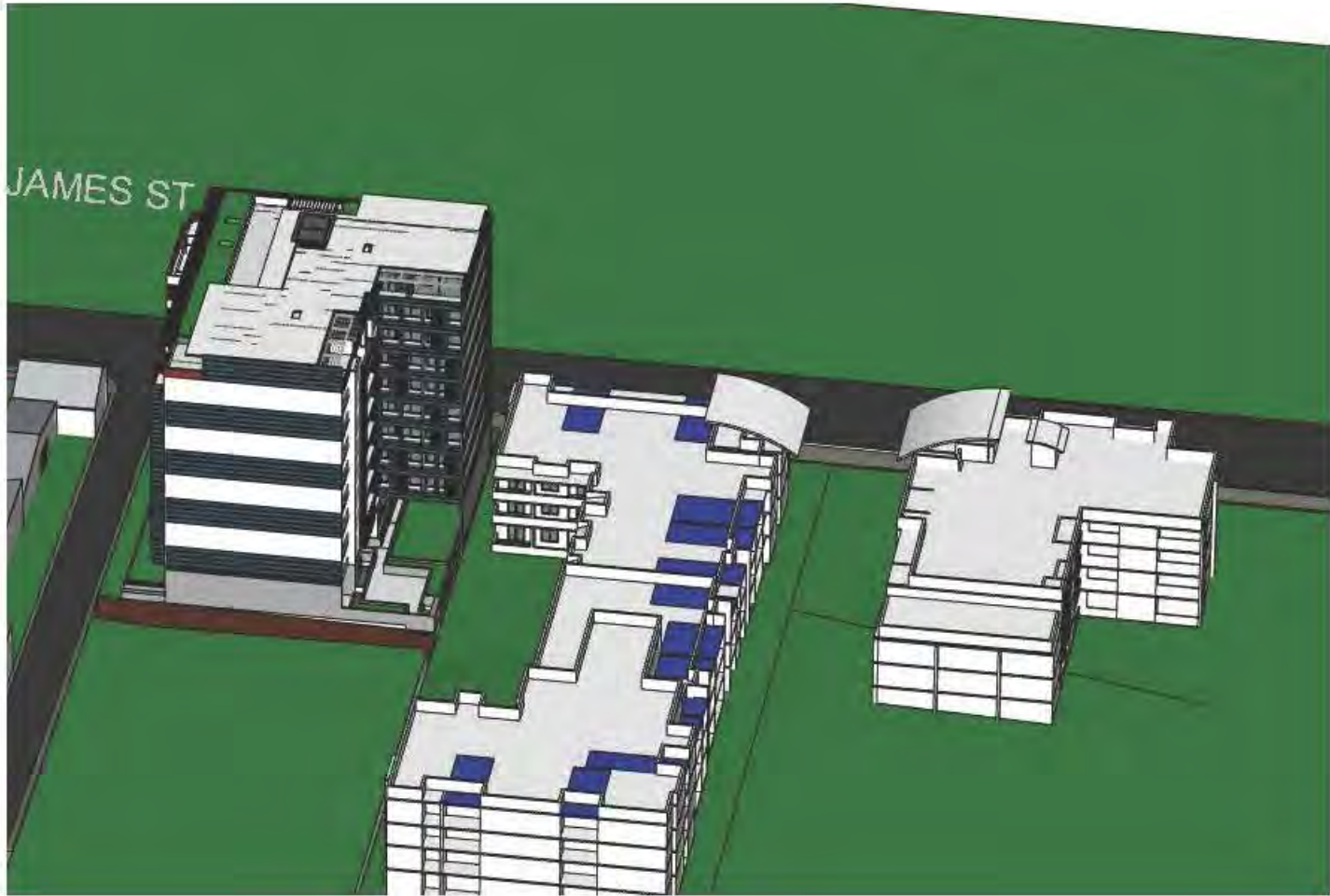
9AM



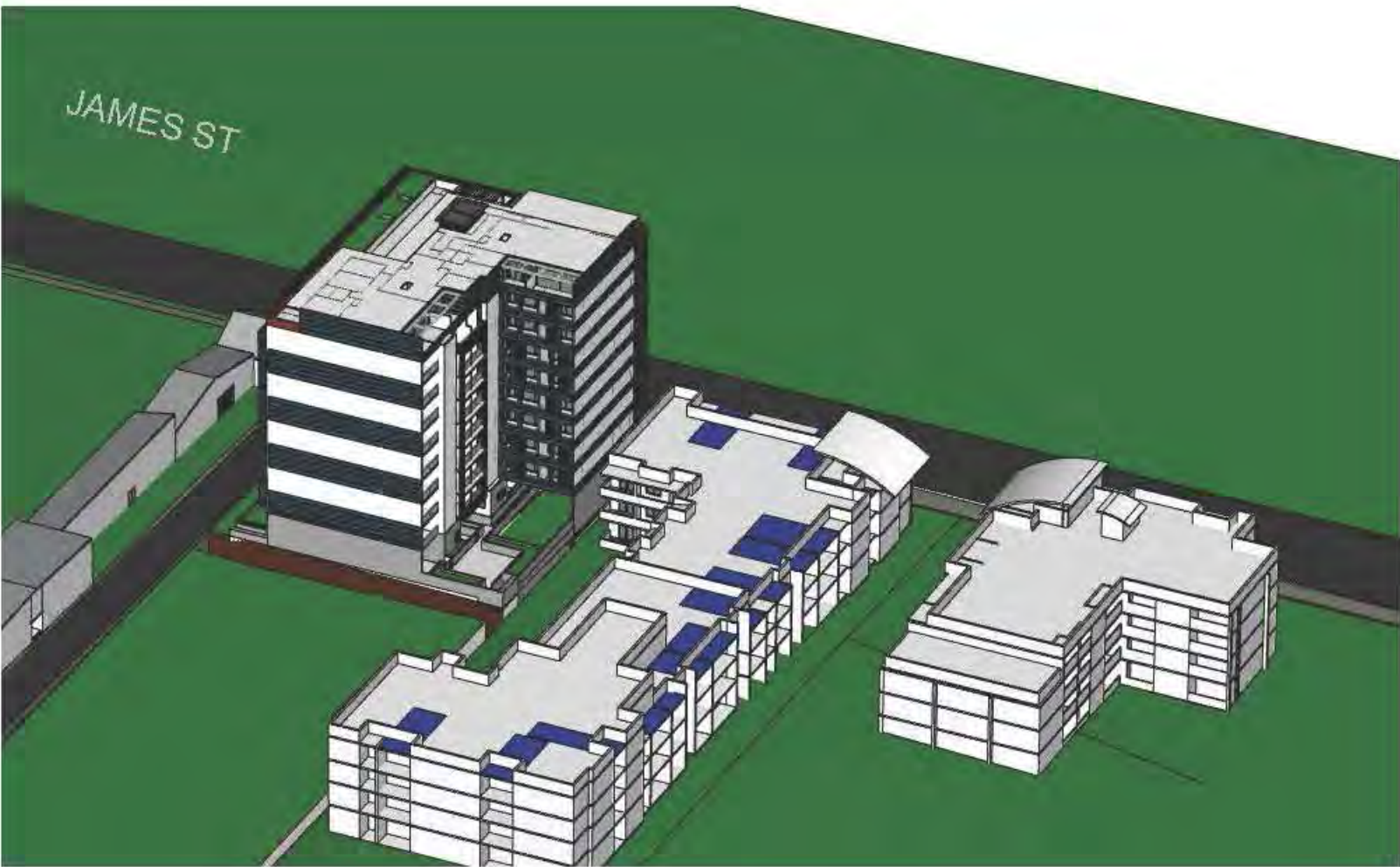
10AM



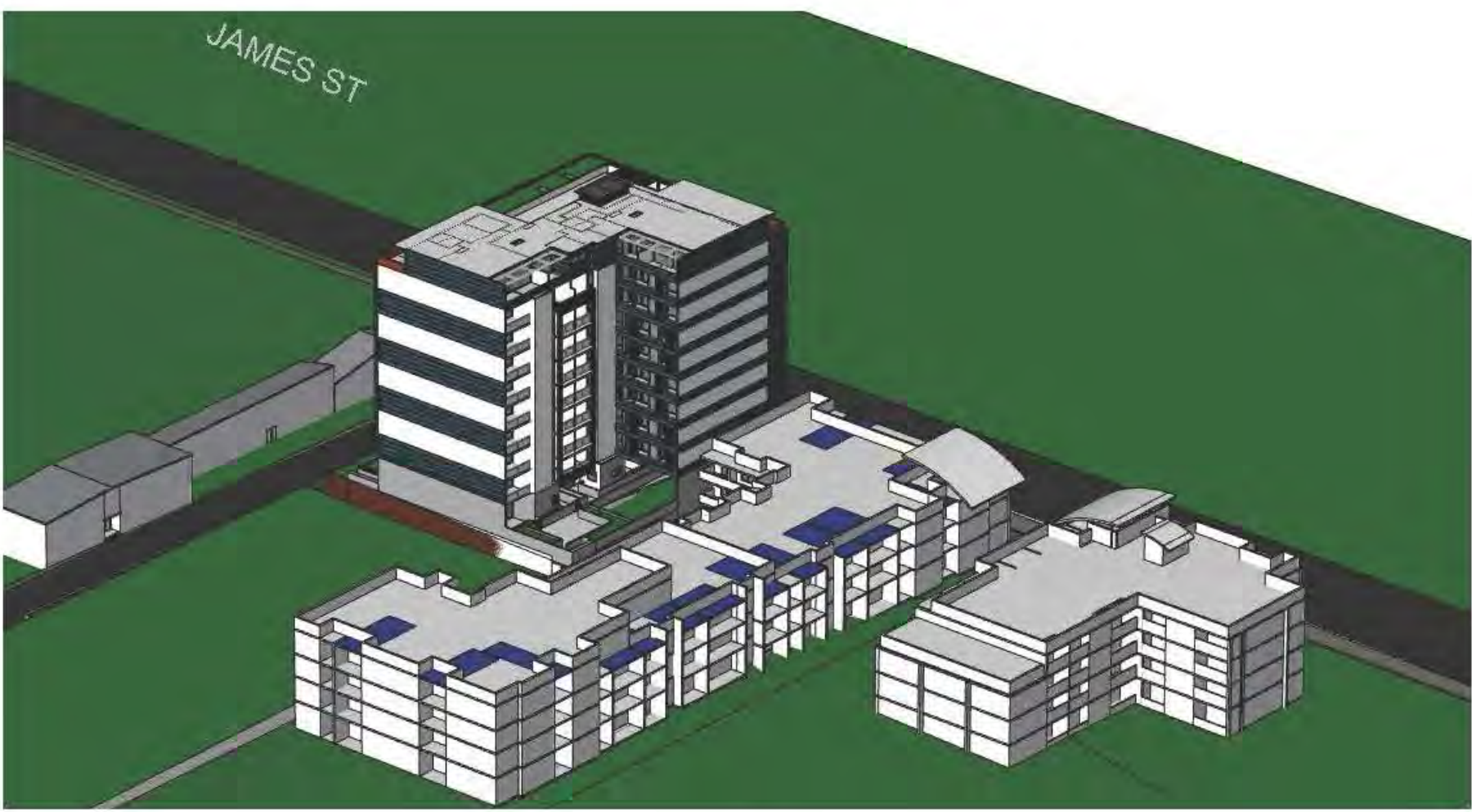
11AM



12NOON



1PM



2PM



3PM

 LIVING SPACE IN NEIGHBOUR DEVELOPMENT

Issue	Amendment	Date
A	COORDINATION	19/10/15
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D	GENERAL REVISION	04/10/16

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Average star rating
6.2

Certificate no.: 0C009C0410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
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DEVELOPMENT APPLICATION

project **21-23 JAMES STREET, LIDCOMBE** project no **15-046**

client **JAMES STREET DEVELOPMENT UNIT TRUST** scale as shown @ A1 date **04/10/16**

drawing **VIEW FROM THE SUN** drawn TV checked ZB



drawing no **DA-401**

Issue **D**



SCHEDULE OF FINISHES

A



WHITE RENDER
OR SIMILAR

B



ALUCOBOND COPPER
OR SIMILAR

C



DULUX SUPERSTAR
OR SIMILAR

D



DULUX ONYX PEARL
POWDERCOAT
OR SIMILAR

E



BRICK PGH OLYMPUS
OR SIMILAR

F



BLACK ALUMINIUM FRAMED
WINDOWS & DOORS

G



OPAQUE GLASS BALUSTRADE

Issue	Amendment	Date
A	COORDINATION	19/10/15
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Do not scale drawings. Verify all dimensions on site

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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	SCHEDULE OF FINISHES 1.2	date	04/11/15
		drawn	TV
		checked	ZB

drawing no
DA- 601

Issue B



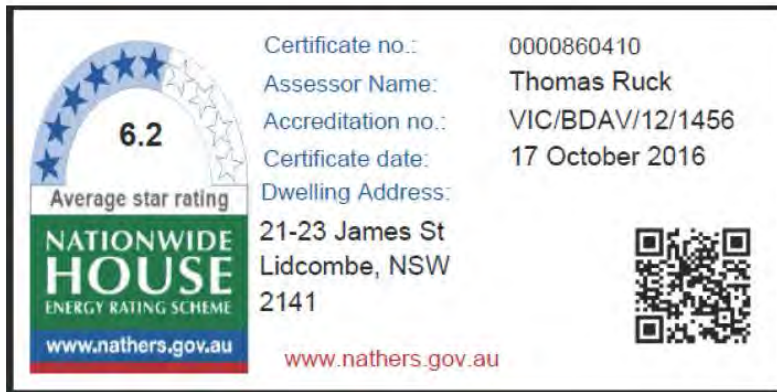
SITE PLAN

GFA CALC

GFA TOTAL		
GROUND		638
1		814
2		814
3		815
4		814
5		814
6		814
7		693
8		725
9		366
TOTAL		7307

SITE AREA	1477
-----------	------

BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	3 star(+6 but<=7.5L/min)	4 star	5 star	5 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed			
Appliances:	Dishwashers - 4.0 star water rating			
ENERGY	Hot water system: Gas Instantaneous – 5 Stars			
REFER TO APPROVED BASIX	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – to living areas only			
	Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – to living areas only			
COMMON AREAS	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven Dishwashers: 3.0 star energy rating Refer to approved BASIX cert			



NatHERS - THERMAL COMFORT SUMMARY

Building Elements	Material	Detail
External walls	• Brick Veneer • Hebel + Furring Channel + Plasterboard	• R1.5 Bulk Insulation to all unit except Units G01 & G07 • R2.5 bulk insulation to Units G01 & G07
Internal walls within units	Plasterboard on studs	-
Common walls between Units	Hebel + Furring Channel + Plasterboard	-
Common walls between Units & Corridors	Hebel + Furring Channel + Plasterboard	• R1.5 Bulk Insulation to open corridors to all unit except Units G01 & G07 • R2.5 bulk insulation to Units G01 & G07
Common walls between Units & Fire Stairs/lift Shaft	162mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation
Ceilings	Plasterboard	-
Roof	Concrete – insulation to concrete exposed to external environment for units 606, 607, 804, 805, 806 & 807	R2.0 Bulk Insulation
Top Floor Roof	Concrete	R2.5 Bulk Insulation
Floors	Concrete	R1.0 Bulk insulation to suspended floor of Units 101, 107, 109 & 110
Windows to all units except as stated below	Aluminium framed, single glazed clear – Sliding Windows & Doors / Fixed Glazing / Glass Louvres	U value 6.70 or less and a SHGC of 0.70 +/- 5%
Windows – Unit G01	Aluminium Framed, Single Glazed, High solar Gain Low E	U value 6.70 or less and a SHGC of 0.57 +/- 5%
Kitchen/Living room sliding Doors		U value 5.4 or less and a SHGC of 0.58 +/- 5%
Skylights	Double Glazed Clear	-
Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers		

Note: If any of the elements nominated above change after the DA (Development Application) has been issued, a revised assessment should be undertaken prior to the Construction Certificate being issued with Construction drawings and specifications

UNIT MIX

LEVEL	1 BED	2 BED	3 BED	TOTAL
Ground				
1	3	5	0	8
2	2	8	0	10
3	2	8	0	10
4	4	6	0	10
5	2	8	0	10
6	2	8	0	10
7	3	6	0	9
8	2	7	0	9
9	1	1	2	4
TOTAL	23	65	2	90
PERCENT	21%	72%	2%	100%

UNIT CALCULATIONS												
LEVEL	UNIT NO	NO OF BEDS	FLOOR AREA	Balcony	TOTAL	PARKING SPACES	STORAGE UNIT	SOLAR ACCESS	CROSS FLOW	SINGLE ORIENT	ADAPT	
GROUND FLOOR	G.01	2	75.5	15	90.5	1	4	4 YES	YES			
	G.02	1	52	17	69	1	3	3 YES	YES			
	G.03	2	86.5	17	103.5	1	4	4 YES	YES			
	G.04	2	75.5	22	97.5	1	4	4 YES	YES			
	G.05	2	75.5	22	97.5	1	4	4 YES	YES			
	G.06	1	44.5	15	59.5	1	3	3 YES	YES			
	G.07	1	50	15	65	1	3	3	YES			
	G.08	2	79	20	99	1	4	4	YES	YES		
LEVEL 1-2	L1.01	1	50	10	60	1	3	3 YES				
	L1.02	1	50	10	60	1	3	3 YES				
	L1.03	2	86.5	17.5	104	1	4	4 YES	YES			
	L1.04	2	75.5	10	85.5	1	4	4 YES			YES	
	L1.05	2	75.5	10	85.5	1	4	4 YES				
	L1.06	2	78.5	10	88.5	1	4	4 YES			YES	
	L1.07	2	79.5	12	91.5	1	4	4	YES			
	L1.08	2	80	10	90	1	4	4				
	L1.09	2	75	10	85	1	4	4 YES	YES			
	L1.10	2	77.5	11.5	89	1	4	4 YES				
LEVEL 3	L3.01	1	50	10	60	1	3	3 YES	YES			
	L3.02	1	50	10	60	1	3	3 YES	YES			
	L3.03	2	86.5	17.5	104	1	4	4 YES	YES			
	L3.04	1	51	10	61	1	3	3 YES	YES		YES	
	L3.05	2	75.5	10	85.5	1	4	4 YES	YES			
	L3.06	2	78.5	10	88.5	1	4	4 YES	YES		YES	
	L3.07	1	66	12	78	1	3	3	YES			
	L3.08	2	80	10	90	1	4	4	YES			
	L3.09	2	75	10	85	1	4	4 YES	YES			
	L3.10	2	77.5	11.5	89	1	4	4 YES				
LEVEL 4-6	L4.01	1	50	10	60	1	4	4 YES				
	L4.02	1	50	10	60	1	4	4 YES				
	L4.03	2	86.5	17.5	104	1	4	4 YES	YES			
	L4.04	2	75.5	10	85.5	1	4	4 YES			YES	
	L4.05	2	75.5	10	85.5	1	4	4 YES				
	L4.06	2	78.5	10	88.5	1	4	4 YES	YES		YES	
	L4.07	2	79.5	12	91.5	1	4	4	YES			
	L4.08	2	80	10	90	1	4	4				
	L4.09	2	75	10	85	1	4	4 YES	YES			
	L4.10	2	77.5	11.5	89	1	4	4 YES				
LEVEL 7	L7.01	1	50	10	60	1	3	3 YES	YES			
	L7.02	1	50	10	60	1	3	3 YES	YES			
	L7.03	2	86.5	16.5	103	1	4	4 YES	YES			
	L7.04	1	51	10	61	1	3	3 YES	YES			
	L7.05	2	75.5	10	85.5	1	4	4 YES	YES			
	L7.06	2	70	16	86	1	4	4 YES	YES			
	L7.07	2	75.5	10	85.5	1	4	4	YES			
	L7.08	2	75	10	85	1	4	4 YES	YES			
	L7.09	2	77.5	11.5	89	1	4	4 YES				
	L7.10	2	77.5	11.5	89	1	4	4 YES	YES			
LEVEL 8	L8.01	1	50	10	60	1	3	3 YES	YES			
	L8.02	1	50	10	60	1	3	3 YES	YES			
	L8.03	2	86.5	16.5	103	1	4	4 YES	YES			
	L8.04	2	75.5	10	85.5	1	4	4 YES	YES			
	L8.05	2	75.5	10	85.5	1	4	4 YES	YES			
	L8.06	2	78	12	90	1	4	4 YES	YES			
	L8.07	2	75.5	10	85.5	1	4	4	YES			
	L8.08	2	75	10	85	1	4	4 YES	YES			
	L8.09	2	77.5	11.5	89	1	4	4 YES	YES			
	L8.10	2	77.5	11.5	89	1	4	4 YES	YES			
LEVEL 9	L9.01	2	76.5	10	86.5	1	4	4 YES	YES			
	L9.02	3	109	41	150	1	4	6 YES	YES			
	L9.03	3	118	45	163	1	4	6 YES	YES			
	L9.04	1	56	10	66	1	4	4 YES	YES			
TOTAL									74	56	1	12

CALCULATION TABLE

TOTAL SITE AREA	1477 m ²			
CONTROL	MAX ALLOWABLE	PROPOSED		
FLOOR SPACE RATIO (FSR)	5:1	5		
GROSS FLOOR AREA (GFA)	7385	7307		
BUILDING HEIGHT	32m	<32m		

CONTROL	MIN. REQUIRED	PROPOSED	
SOLAR ACCESS	70%	63 UNITS	74 UNITS
CROSS VENTILATION	60%	54 UNITS	59 UNITS
SINGLE ORIENTED SOUTH FACING UNITS	10%	9 UNITS	9 UNITS
COMUNAL OPEN SPACE	25%	369 m ²	379.5m ²

CAR PARKING				
CONTROL	m2	UNITS	MIN REQUIRED	PROPOSED
1 - 1 SPACES / 1 AND 2 BED UNIT	88	88		88
2 - SPACES / 3 BED UNIT	2	4		4
VISITOR = 1 SPACE / 5 UNITS	90	18		18
Total Residential		110		110
Car Wash		1		1
Total		111		111

WASTE				
MIN. REQUIRED	PROPOSED			
240L BIN / 2 UNITS	90	UNITS	45	
240L BIN / 2 UNITS	90	UNITS	45	
TOTAL		90 BINS		90



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DEVELOPMENT APPLICATION

project 21-23 JAMES STREET, LIDCOMBE

client JAMES STREET DEVELOPMENT UNIT TRUST

drawn TV

checked ZB

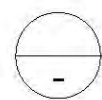
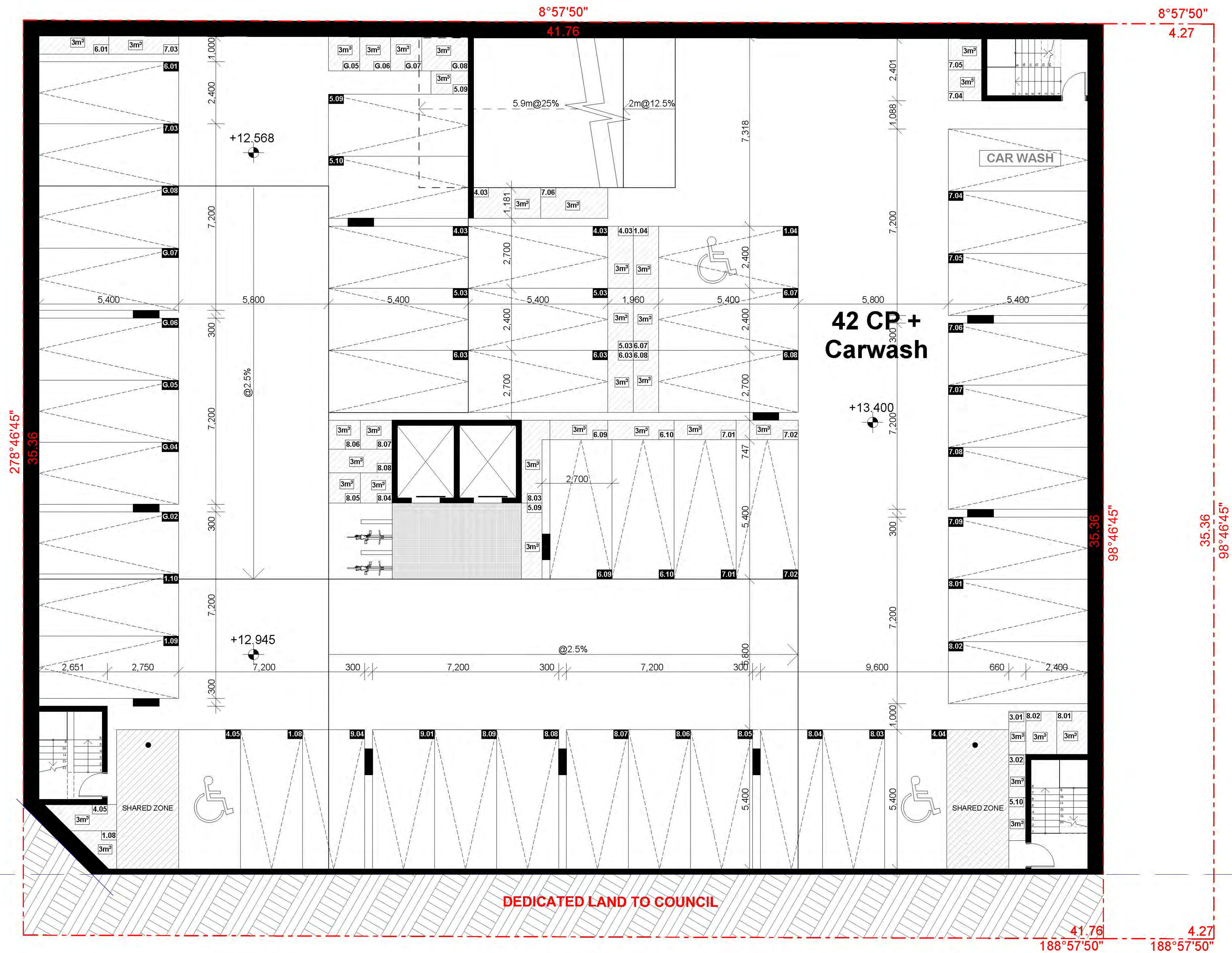


drawing no DA- 001

scale as shown@ A1

date 04/10/16

Issue D



BASEMENT 3
1:100

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

NO AMENDMENTS TO ISSUE D

Average star rating
6.2
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
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Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
Lidcombe, NSW
2141
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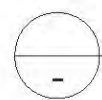
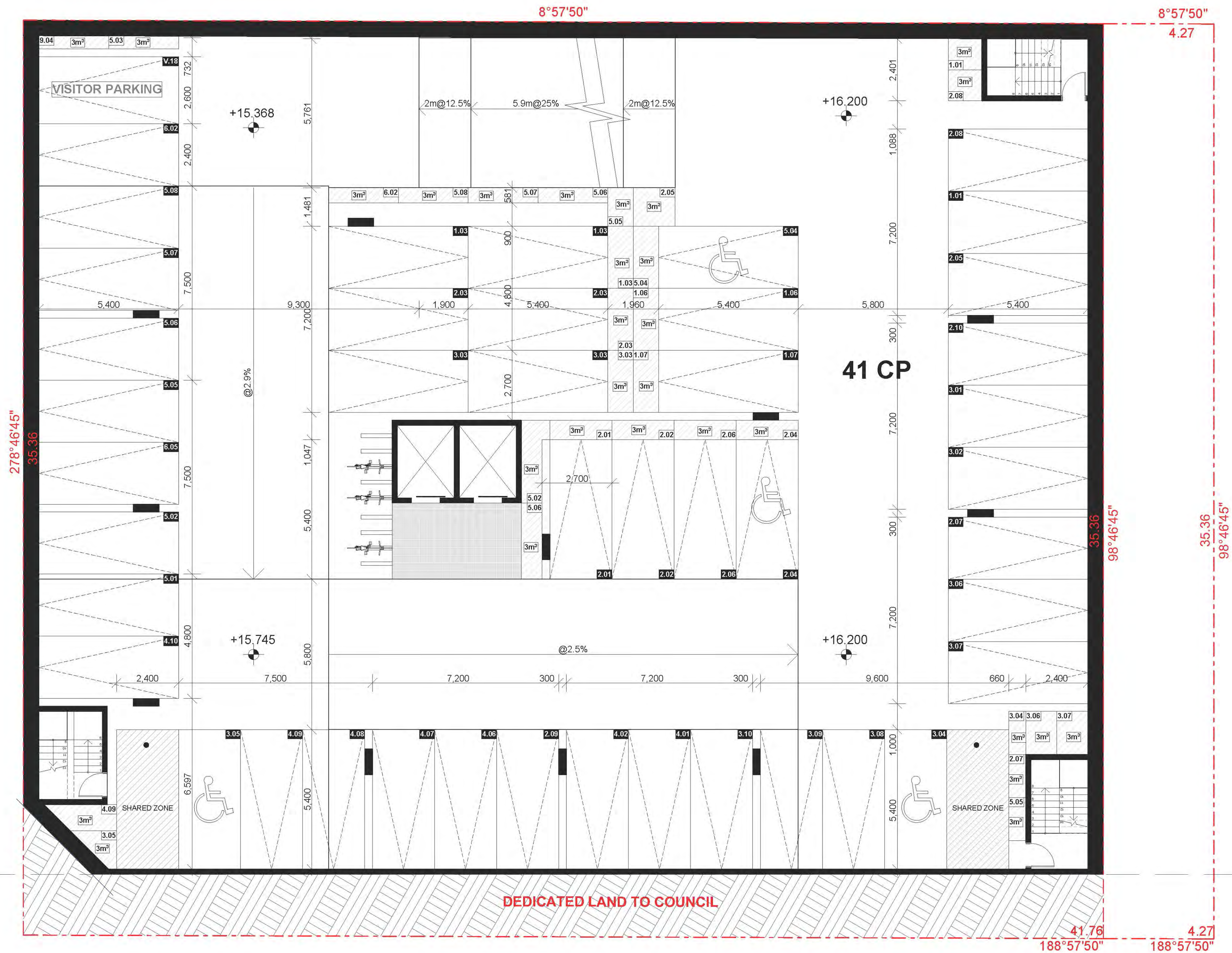
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	BASEMENT 3	date	04/10/16
drawn	TV	checked	ZB



drawing no
DA- 101

Issue D



BASEMENT 2
1:100

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

NO AMENDMENTS TO ISSUE D

Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
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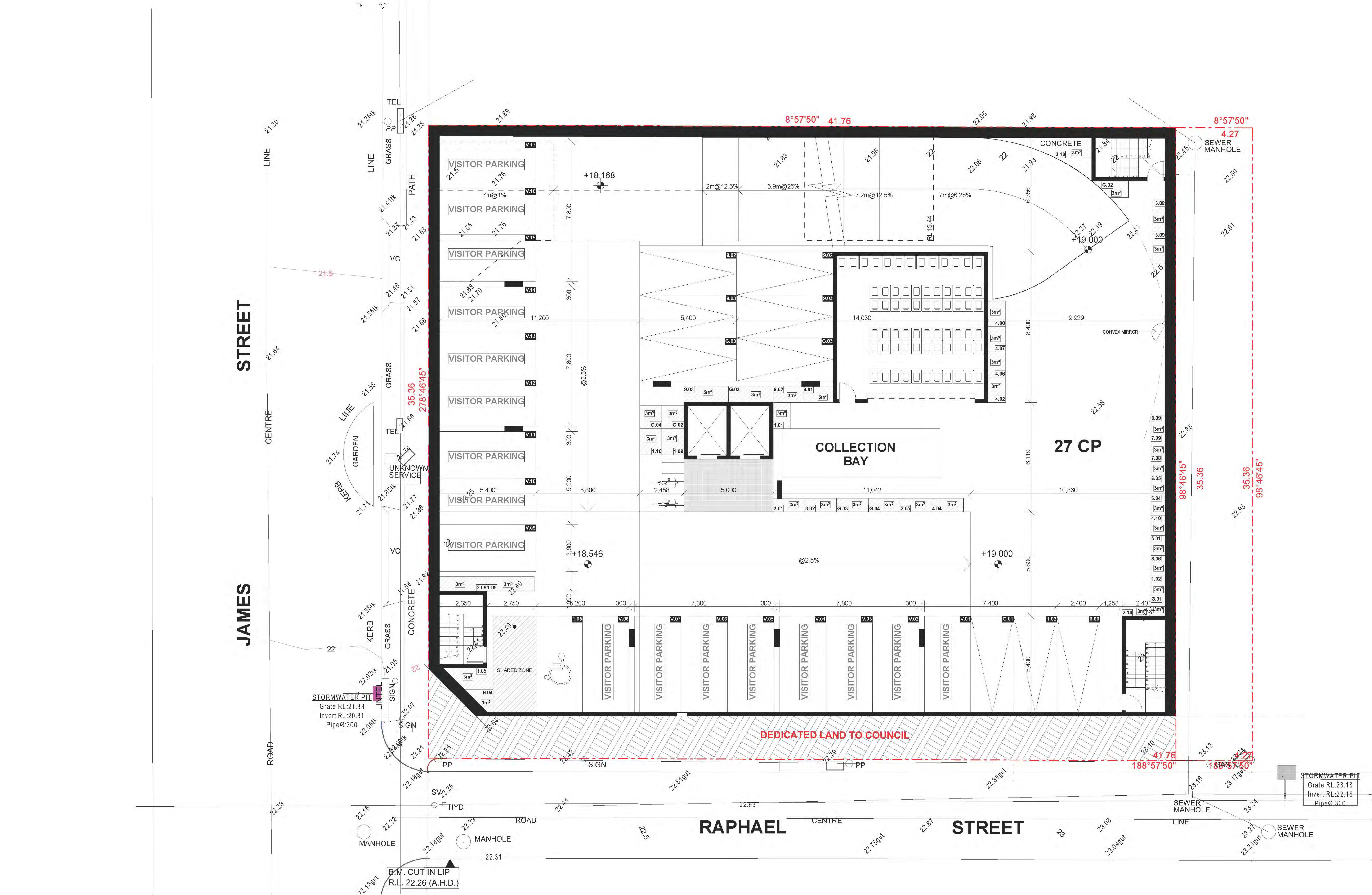
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	BASEMENT 2	date	04/10/16
drawn	TV	checked	ZB



drawing no
DA-102

Issue D



Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

NO AMENDMENTS TO ISSUE D

6.2
Average star rating

Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDAY/12/1456
Certificate date: 17 October 2016
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DEVELOPMENT APPLICATION	
project	21-23 JAMES STREET, LIDCOMBE
client	JAMES STREET DEVELOPMENT UNIT TRUST
drawing	BASEMENT FLOOR PLAN
project no	15-046
scale	as shown@ A1
date	04/10/16
drawn	TV
checked	ZB

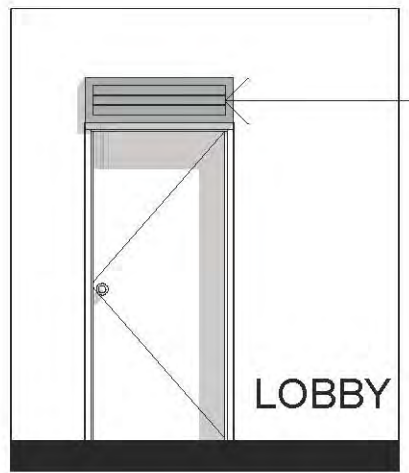
drawing no
DA- 103

Issue
D

BASEMENT 1
1:100



LEGEND		
CROSS VENTILATION		8 UNITS
SOLAR ACCESS		6 UNITS



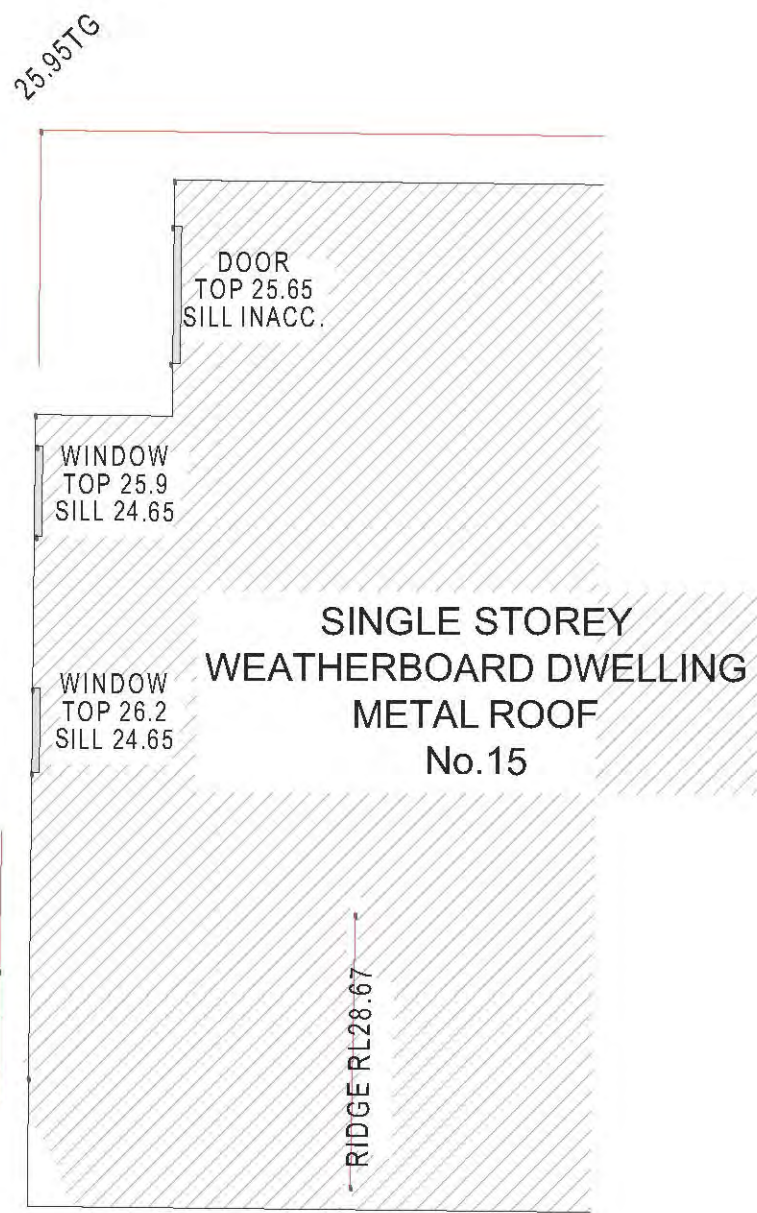
VENTILATION GRILL

LOBBY

12

D.P.397

A1 - VENTILATION THROUGH BREEZEWAY 1:50



SINGLE STOREY
WEATHERBOARD DWELLING
METAL ROOF
No.15

23.95TG

26.52TG

POWER POLE

STORMWATER PIT
Grate RL:23.18
Invert RL:22.15
Pipe Ø:300

GROUND FLOOR
1:100

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	Certificate no.:	0000860410
	Assessor Name:	Thomas Ruck
	Accreditation no.:	VIC/BDV/12/1456
	Certificate date:	17 October 2016
	Dwelling Address:	21-23 James St Lidcombe, NSW 2141
Average star rating 6.2		
www.nathers.gov.au		

DEVELOPMENT APPLICATION

project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	GROUND FLOOR	date	04/10/16
		drawn	TV
		checked	ZB



drawing no
DA- 104

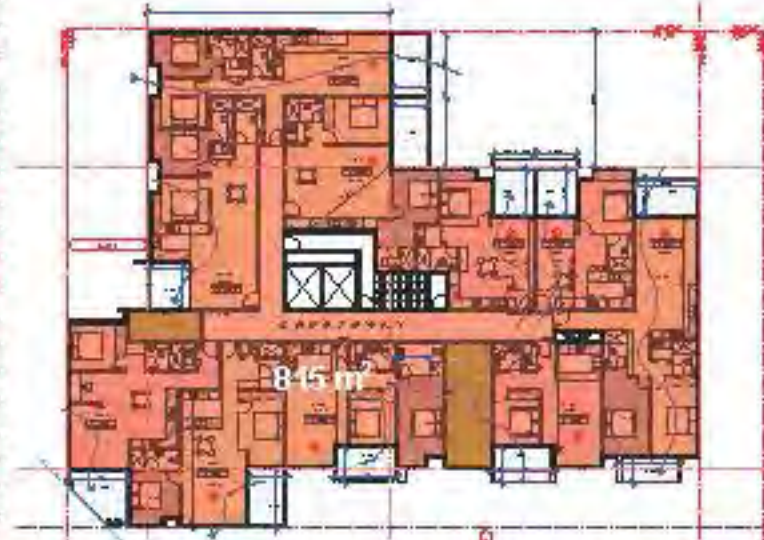
Issue D

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

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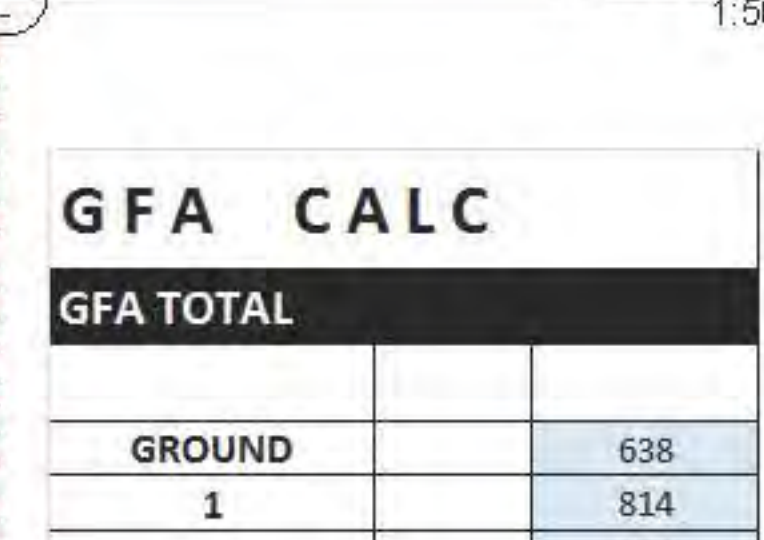
GROUND FLOOR-GFA
1:500



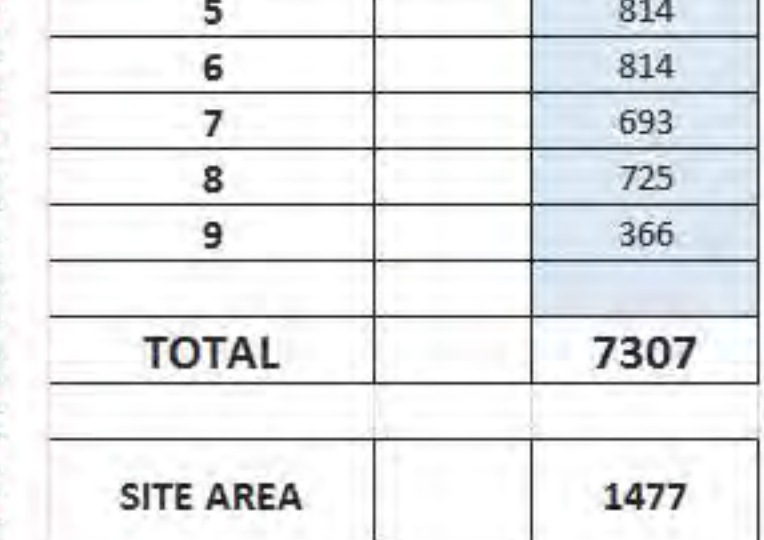
LEVEL 1-2 GFA
1:500



LEVEL 3 - GFA
1:500



LEVEL 4 - 6 GFA
1:500



LEVEL 7 - GFA
1:500



LEVEL 8 GFA
1:500



LEVEL 9-GFA
1:500

LEGEND	
CROSS VENTILATION	4 UNITS
SO LAR ACCESS	7 UNITS

GFA CALC		
GFA TOTAL		
GROUND		638
1		814
2		814
3		815
4		814
5		814
6		814
7		693
8		725
9		366
TOTAL		7307
SITE AREA		1477

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

6.2
Average star rating

Certificate no.: 000006410
Associate Name: Thomas Ruck
Accreditation no: VIC/BAV/12/1456
Certificate date: 17 October 2016
Licensing Address: 21-23 James St
Lidcombe, NSW 2141

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P.O. Box 228 Berala NSW 2126
Phone: 02 97 45 2014 Fax: 02 97 45 0864
Email: info@urbanlink.com.au

DEVELOPMENT APPLICATION

project 21-23 JAMES STREET, LIDCOMBE

client JAMES STREET DEVELOPMENT UNIT TRUST

drawing LEVEL 1-2

project 15-046

scale as shown A1

date 04/10/16

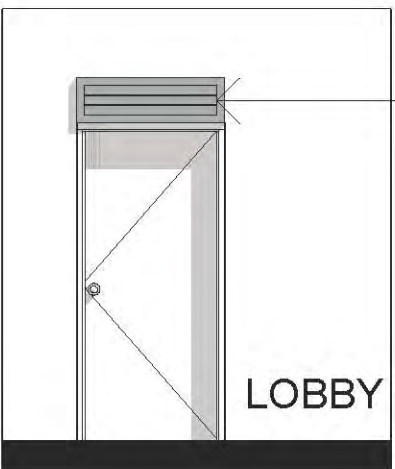
drawn TV

checked ZB

DA-105

Issue D

LEGEND		
CROSS VENTILATION		9 UNITS
SOLAR ACCESS		8 UNITS



VENTILATION
GRILL

LOBBY

A1 - VENTILATION THROUGH BREEZEWAY 1:50

Average star rating
6.2
NATIONWIDE
ENERGY RATING SCHEME
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Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
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LEVEL 3
1:100

Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	LEVEL 3	date	04/10/16
drawn	TV	checked	ZB
issue	D		



drawing no
DA- 106

Issue D

LEGEND		
CROSS VENTILATION		4 UNITS
SOLAR ACCESS		8 UNITS



6.2
Average star rating

Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
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Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

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LEVEL 4 - 6
1:100

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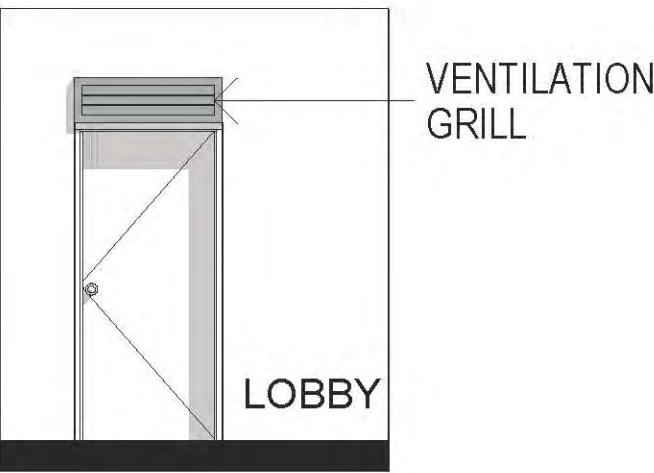
DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	LEVEL 4 - 6	date	04/10/16
drawn	TV	checked	ZB
issue	D		



drawing no
DA- 106

Issue D

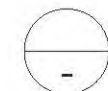
LEGEND		
CROSS VENTILATION		8 UNITS
SOLAR ACCESS		8 UNITS



A1 - VENTILATION THROUGH BREEZEWAY 1:50

Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
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Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

LEVEL 7
1:100

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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	LEVEL 7	date	04/10/16
checked	ZB	drawn	TV
issue	D		



drawing no
DA- 106

Issue D

LEGEND		
CROSS VENTILATION		9 UNITS
SOLAR ACCESS		8 UNITS





Certificate no.: 0000860410
 Assessor Name: Thomas Ruck
 Accreditation no.: VIC/BDAA/12/1456
 Certificate date: 17 October 2016
 Dwelling Address:
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Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site.

LEVEL 8
1:100



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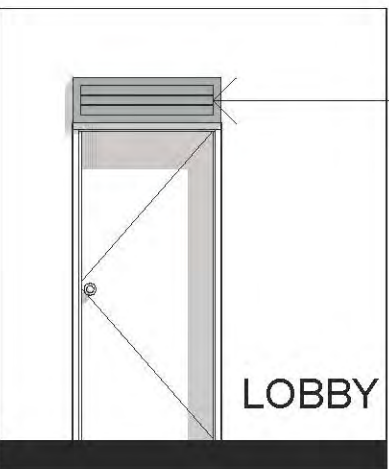
DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	LEVEL 8	date	04/10/16
drawn	TV	checked	ZB
issue	D		



drawing no
DA- 106

Issue D

LEGEND		
CROSS VENTILATION		4 UNITS
SOLAR ACCESS		4 UNITS



VENTILATION GRILL

LOBBY

A1 - VENTILATION THROUGH BREEZEWAY 1:50

6.2
Average star rating
NATIONWIDE
ENERGY RATING SCHEME
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Certificate no.: 0000860410
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 17 October 2016
Dwelling Address: 21-23 James St
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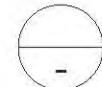
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DEVELOPMENT APPLICATION			
project	21-23 JAMES STREET, LIDCOMBE	project no	15-046
client	JAMES STREET DEVELOPMENT UNIT TRUST	scale	as shown@ A1
drawing	LEVEL 9	date	04/10/16
checked	ZB	drawn	TV
		checked	ZB



drawing no DA- 107

Issue D



Issue	Amendment	Date
A	COORDINATION	19/10/15
B	DEVELOPMENT APPLICATION	04/11/15
C	GENERAL REVISION	01/04/16
D	GENERAL REVISION	04/10/16

Do not scale drawings. Verify all dimensions on site

LEVEL 9
1:100

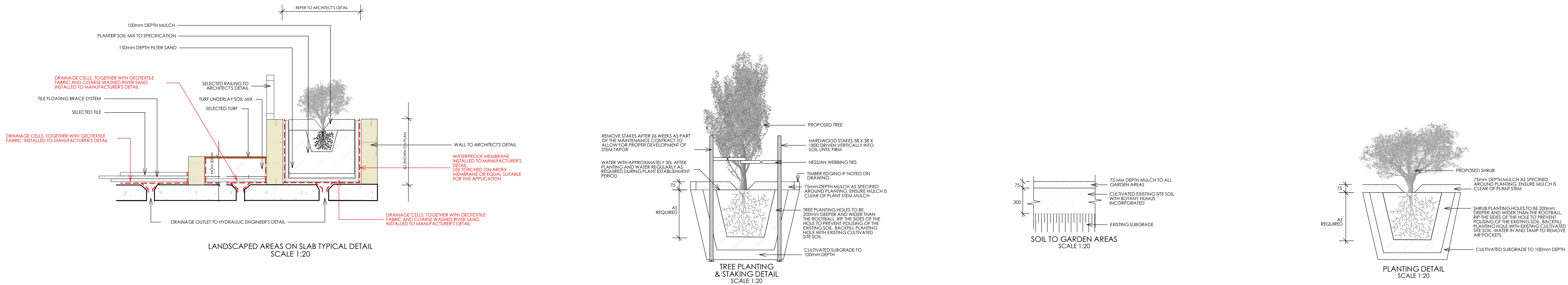
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DEVELOPMENT APPLICATION
PROPOSED LANDSCAPE PLANS
21 - 23 JAMES STREET, LIDCOMBE

DRAWING LIST

SHEET NO.	REVISION	SHEET TITLE	SHEET NO.
L/00	A	COVER SHEET	L/00
L/01	C	PROPOSED GROUND FLOOR LANDSCAPE PLAN	L/01
L/02	C	PROPOSED LEVEL 9 LANDSCAPE PLAN	L/02

LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones: (i) 125 x 25mm approved tanolith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. (ii) 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, covering mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof, G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldalene'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works:** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering:** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) **Replacements:** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces:** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties:** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Lawn areas:** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) **Weeding:** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) **Pruning:** Prune new and existing plants (excluding existing trees) as necessary to maintain optimal growing conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) **Spraying:** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) **Tree Care:** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Client	Project	Notes	Revision	Description	Date	DRAWING COVER SHEET			
			A	DA SUBMISSION	06/10/16	ADDRESS 21-23 JAMES STREET, LIDCOMBE		DWG # L/00	
						SCALE @ A1	1:100		
						SCALE @ A3	1:200		
						DRAWN	LS		
JAMES STREET DEVELOPMENT UNIT TRUST		HIGH DENSITY RESIDENTIAL DEVELOPMENT 21-23 JAMES STREET, LIDCOMBE		Discount Landscape Plans 65 West Street, North Sydney NSW 2060 Tel: (02) 9959 4055 Fax: (02) 9957 5922		CHKD		PROJECT # URBAN LINK	
						JS			
						discount landscape plans quick - guaranteed - affordable			



LEGEND

- + 10.000 PROPOSED LEVEL
- 9.81 EXISTING LEVEL
- APPROXIMATE LOCATION OF SEWER LINE
- BASEMENT OUTLINE
- BOUNDARY
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED CONCRETE PAVING
- LAND DEDICATED TO COUNCIL
- PROPOSED PAVED AREA TYPE 1
- PROPOSED PAVED AREA TYPE 2
- PROPOSED WALL
- EXISTING STREET TREE TO BE RETAINED

PLANT SCHEDULE

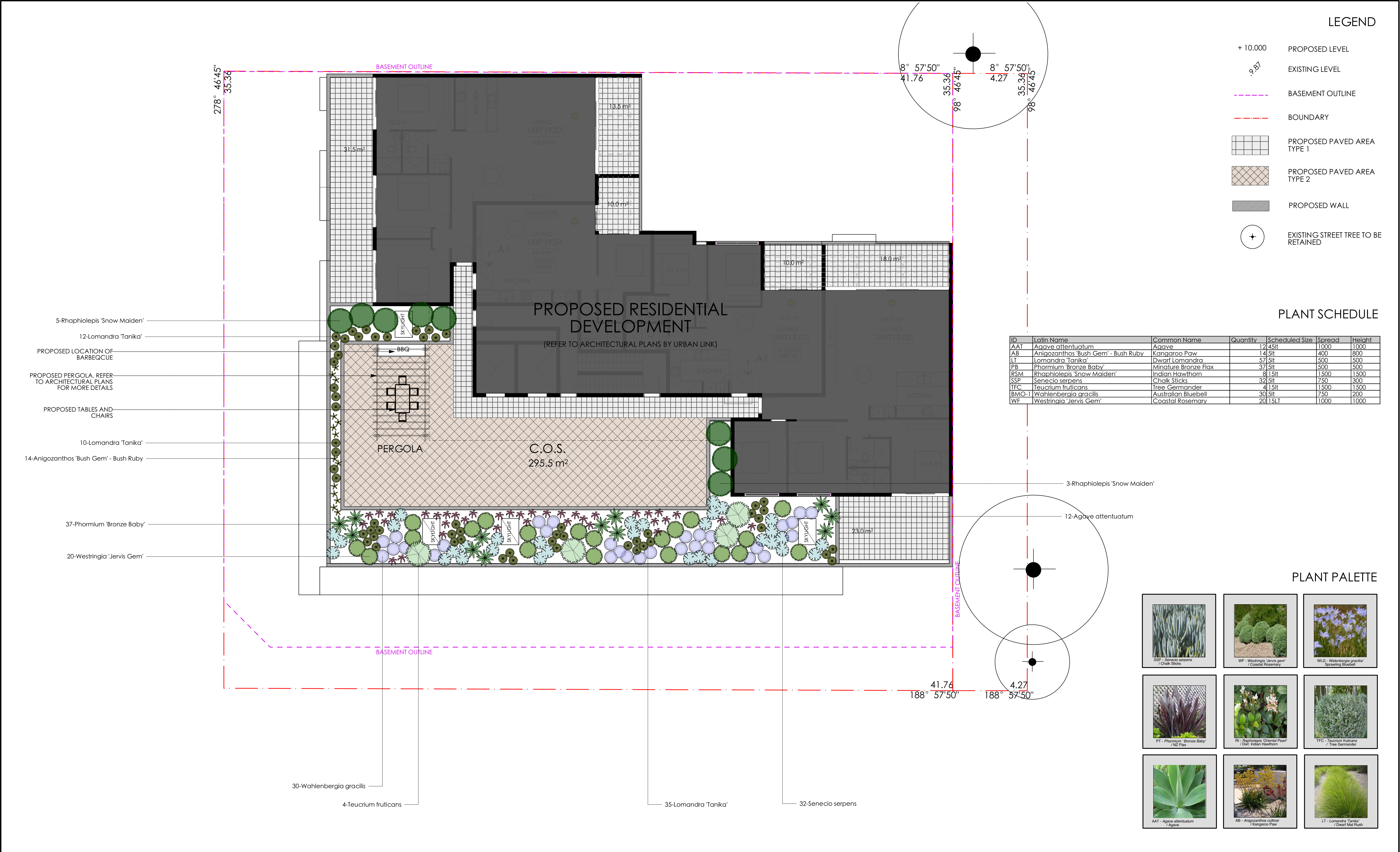
ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
AAT	Agave attenuatum	Agave	9.45lt	1000	1000	
BY	Beschermeria yuccoides	Mexican Lily	4.45lt	1200	1200	
CAS	Camellia sasanqua	Camellia	3.45lt	1500	3500	
CGI	Carpobrotus glaucescens	Pigface	23.5lt	600	600	
CM	Clivia minata	Clivia	22.5lt	600	600	
CAL	Correa alba	Correa alba	4.15lt	1500	1500	
CUP	Cupaniopsis anacardioides	Tuckeroo	3.75lt	5000	8000	
CR	Cycas revoluta	Sago Palm	2.45lt	2500	2000	
DR	Dianella revoluta	Mauve Flax Lily	44.5lt	500	500	
DE	Doryanthes excelsa	Gymea Lily	5.15lt	1500	1500	
DM	Dracaena marginata	Dracaena	4.75lt	1500	2500	
HS	Hibbertia scandens	Climbing Guinea Flower	12.5lt	1000	350	
LE	Liriope 'Evergreen Giant'	Giant Liriope	13.5lt	400	300	
LT	Lomandra 'Tanika'	Dwarf Lomandra	76.5lt	500	500	
MC	Maczamia communis	Burrowing Palm	1.75lt	2000	2500	
MP	Murraya paniculata	Orange Jessamine	24.15lt	1200	2500	
PX	Philodendron 'Xanadu'	Dwarf Philodendron	18.5lt	750	1000	
PB	Phormium 'Bronze Baby'	Miniature Bronze Flax	40.5lt	500	500	
SSP	Senecio serpens	Chalk Sticks	10.5lt	750	300	
SCS	Syzygium 'Cascade'	Dwarf Weeping Lillypillly	9.25lt	1500	3000	
SRS	Syzygium australe 'Resilience'	Lillypillly	5.25lt	1500	2500	
TL	Tristania laurina	Water Gum	4.75lt	4000	7000	
WF	Westringia fruticosa	Coastal Rosemary	3.25lt	1500	1500	

PLANT PALETTE



NOTE: NOT ALL PLANT IMAGES ARE SHOWN

Client	Project	Notes	Revision	Description	Date	DRAWING
JAMES STREET DEVELOPMENT UNIT TRUST	HIGH DENSITY RESIDENTIAL DEVELOPMENT 21-23 JAMES STREET, LIDCOMBE	1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work. 2. Do not scale from drawings. 3. If in doubt contact Landscape Architect. 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects. 5. This plan has been prepared for Development Application purposes only.	A	DA SUBMISSION	06/11/15	PROPOSED LANDSCAPE PLAN_GROUND FLOOR
			B	DA SUBMISSION	27/04/16	ADDRESS 21-23 JAMES STREET, LIDCOMBE
			C	ARCHITECTURAL AMENDMENTS	06/10/16	DWG # L/01
						Discount Landscape Plans 45 West Street, North Sydney NSW 2060 Tel: (02) 9957 4055 Fax: (02) 9957 5922
						SCALE @ A1 1:100 SCALE @ A3 1:200
						DRAWN LS
						CHKD JS
						PROJECT # URBAN LINK



Client	Project	Notes	Revision	Description	Date	DRAWING			
			A	DA SUBMISSION	06/11/15	PROPOSED LANDSCAPE PLAN - LEVEL 9			DWG # L/02
			B	DA SUBMISSION	27/04/16	ADDRESS 21-23 JAMES STREET, LIDCOMBE			
			C	ARCHITECTURAL AMENDMENTS	06/10/16	Discount Landscape Plans 45 West Street, North Sydney NSW 2060 Tel: (02) 9959 4055 Fax: (02) 9957 5922			SCALE @ A1 1:100 SCALE @ A3 1:200
						discount landscape plans quick - guaranteed - affordable			DRAWN LS CHKD JS
						PROJECT # URBAN LINK			